



# VINTON UDA

## DOWNTOWN PUBLIC REALM DESIGN GUIDELINES and ACTION PLAN

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## ACKNOWLEDGMENTS

This plan was prepared by Rhodeside & Harwell in collaboration with staff from EPR-PC, the Town of Vinton, and the Roanoke Valley-Alleghany Regional Commission (RVARC). Special thanks to the members of the Urban Development Area (UDA) Advisory Committee.

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## EXECUTIVE SUMMARY

On August 16, 2016, after a very involved planning process, the Town of Vinton adopted an Urban Development Areas (UDA) Plan. The Plan was made possible through the Virginia Department of Transportation (VDOT) Office of Intermodal Planning and Investment (OIPI) technical grants. In August 2017, the Town was awarded another OIPI technical grant to assist with the planning process for the development of the Public Realm Design

Guidelines and Action Plan for the Downtown. The members of the UDA Advisory Committee, consultants, and Town personnel held several meetings from January through December 2018, including a public open house meeting in April 2018. A joint work session of the Planning Commission and Town Council on December 18, 2018, which was followed by a joint public hearing on January 15, 2019.



# Introduction

## INTRODUCTION AND PURPOSE

Downtown Vinton is a vital center in the Roanoke region and currently hosts a variety of civic institutions, shops, restaurants, and other amenities. To support future growth and continue “right-size” development within its core blocks, the Town has developed a set of design guidelines to help property owners, businesses and developers revitalize existing buildings and create new spaces that facilitate a safe, beautiful, inviting and vibrant public realm.

In 2010, the Town of Vinton developed its Downtown Revitalization Plan. The plan provided design guidelines for selected important sites which were prioritized to focus on redevelopment opportunities. Following the 2010 plan, the Town embarked on the Downtown Facade Grant Program. This grant provides matching funds for facade improvements on buildings within the Downtown core. While the grant does provide minimal guidance regarding preferred facade treatments, the purpose of the current document is to further the design intentions and goals of the 2010 Revitalization Plan and the Facade Grant Program, and apply them to elements related to Downtown’s public realm.



Credit: Town of Vinton

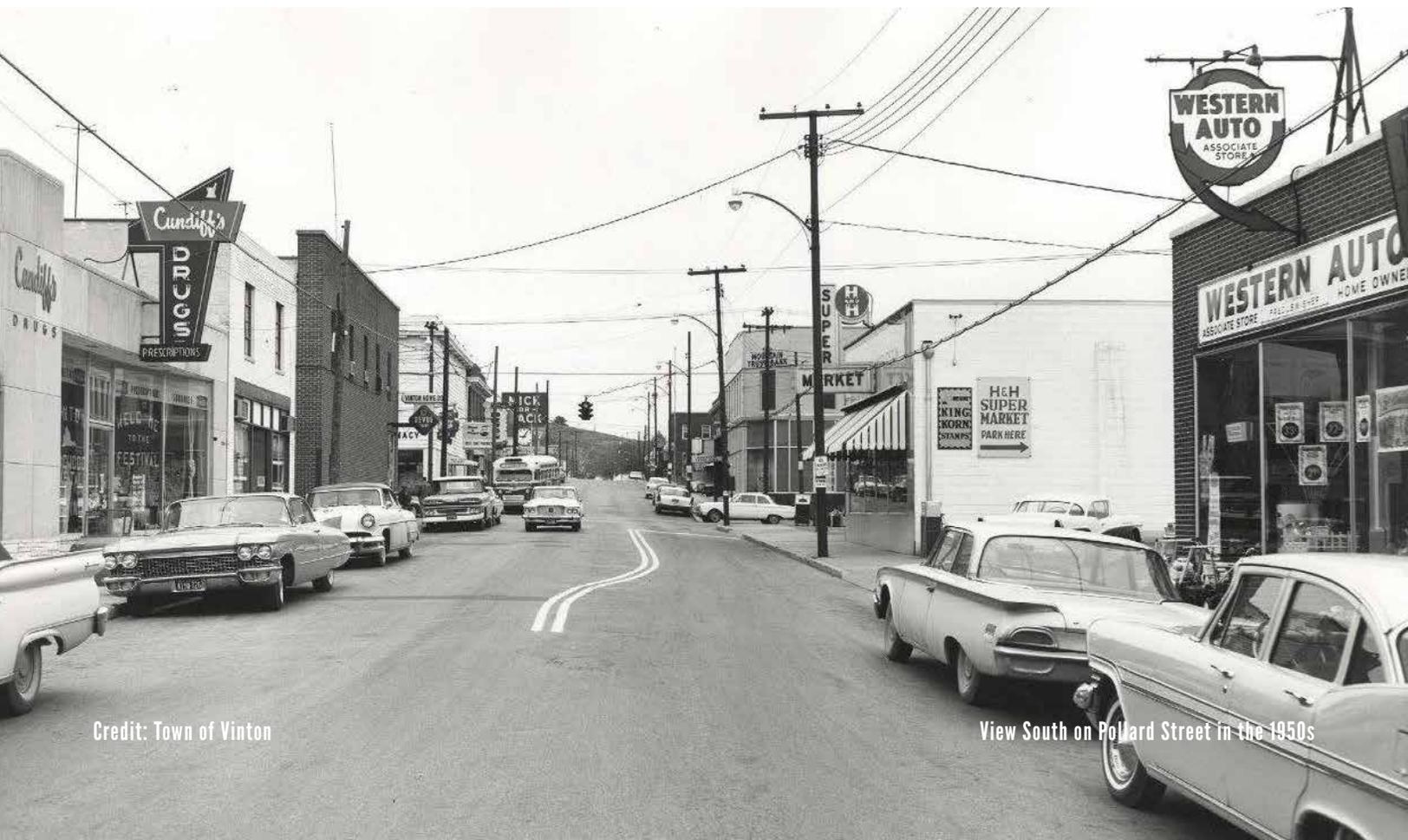
“In Vinton” Signage

## HOW WILL THESE GUIDELINES BE USED?

The Downtown Public Realm Design Guidelines are intended to be a non-regulatory guidance document. They are intended as a guide for citizens of the Town of Vinton, businesses and property owners, as well as the Town's staff, appointed officials and Town Council to better understand the design vision and objectives of policy documents such as the Town's Comprehensive Plan, the Urban Development Areas Plan, the Downtown Revitalization Plan, and the Downtown Facade Grant program as they relate to the physical design of elements in the downtown.

There are several ways that these Guidelines may be used by all these groups to help guide and shape downtown development over time. For example, the Guidelines can be used in an advisory capacity for the following purposes:

- A. By property owners of downtown businesses who are considering facade improvements or revitalization of their buildings, to better understand the architectural character of downtown buildings and how to make improvements that are compatible with and support the unique design character of Vinton's downtown.



Credit: Town of Vinton

View South on Pollard Street in the 1950s

- B. By Planning Commission and Town staff in reviewing development applications, to be able to share with applicants the overall design intent of Vinton's downtown so that new development can respect and be consistent with that design intent.
- C. By the Town Council, in reviewing development applications that require legislative approval such as Special Use Permits and rezonings, in order to compare the development proposal against the Town's overall community design policies for the downtown.
- D. By those undertaking any future public improvement projects in the downtown, such as plazas, streets or public buildings, to ensure that they are compatible with the character and design quality intended for the downtown.

These proposed Guidelines will be presented to the citizens of Vinton and to the elected and appointed officials of the Town, its Town Council and Planning Commission, for consideration of their appropriateness and use as a guiding document for the downtown. The Guidelines are intended to work together as a whole, in order to implement the Traditional Neighborhood Design principles in the State's UDA legislation, as well as to enhance the overall quality of life and value of private property in the downtown by making it more attractive, more walkable and more cohesive and consistent from a community design standpoint. It is anticipated that the Guidelines will shape improvements incrementally over time and will eventually help make Vinton's downtown even more attractive and treasured for future generations of Vintonians.



Credit: Google Streetview

View South on Pollard Street in 2018

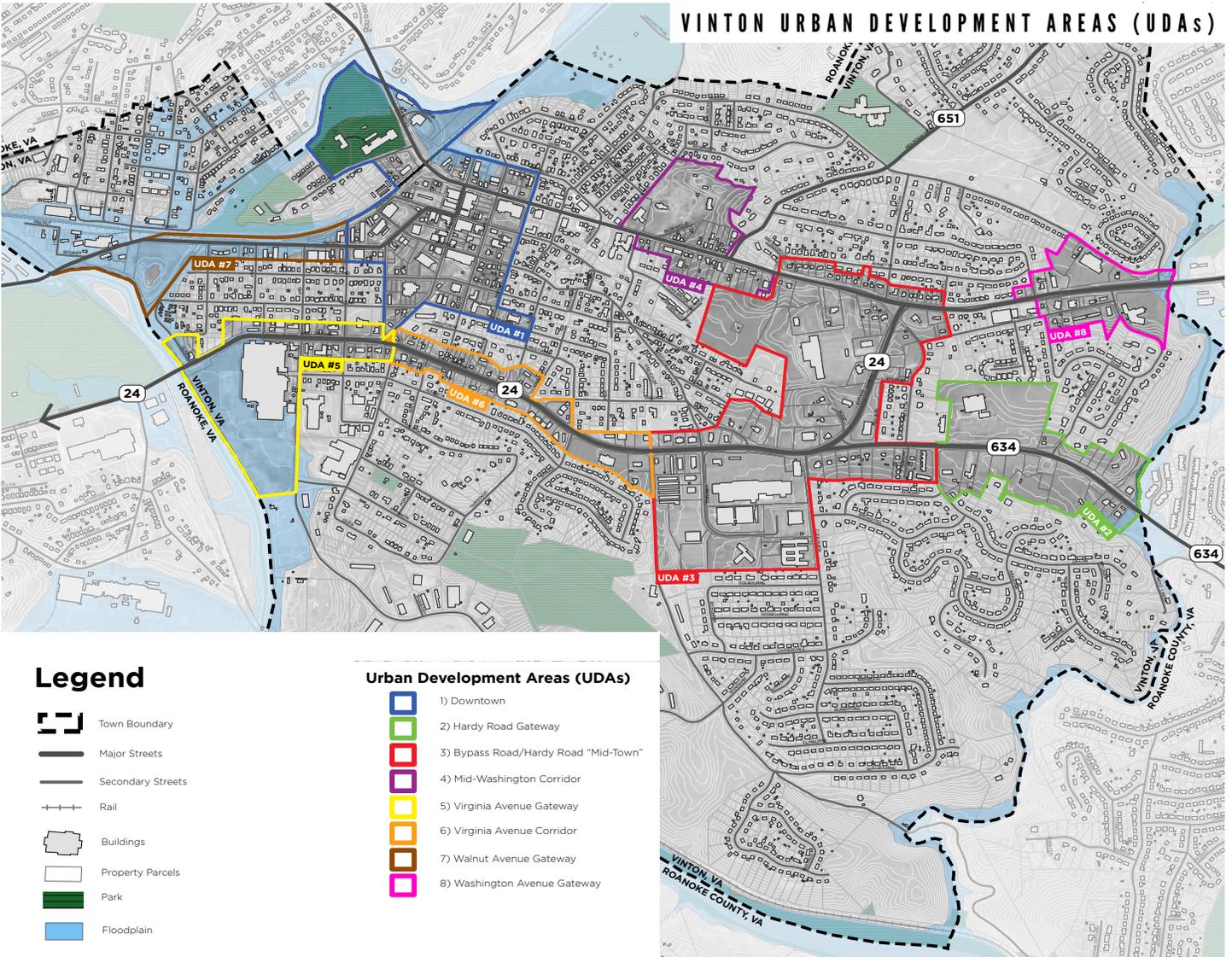
## FOCUS AREA AND PRIORITY STREETS

The Downtown Public Realm Design Guidelines focuses only on the portion of Vinton designated in 2016 as Urban Development Area 1 (UDA 1) and Urban Development Area 7 (UDA 7). These UDAs encompass Downtown Vinton, some of its neighboring residential blocks, and Walnut Avenue to Vinton's border with the City of Roanoke. While additional design guidelines should be developed for other Vinton UDAs as redevelopment and revitalization occurs outside of Downtown, this set of guidelines focuses on Downtown, based on the current focus of regional development interest. As Downtown fills out, Vinton's other UDAs will likely see more development and redevelopment interest. At that point, creating specialized design guidelines for Vinton's other UDAs will be appropriate.

### Priority Streets

- **Washington Avenue:** The primary gateway into Vinton from Roanoke and Bedford Counties, the current roadway configuration prioritizes high speed vehicles over pedestrians. As this roadway evolves, the Washington Avenue streetscapes should be expanded and framed by new building facades.
- **Pollard Street:** The street that serves as both Vinton's primary Downtown main street as well as a critical roadway link to Downtown Roanoke. Major civic amenities such as Vinton Municipal Building, Vinton Library, and the Vinton Post Office are located along Pollard's Downtown blocks.
- **Walnut Avenue/Railroad Avenue:** The secondary routes between Downtown Roanoke and Downtown Vinton, these streets currently serve industry-heavy portions of Downtown Vinton and lack sidewalks. As opportunities arise, streetscapes along these streets should be reconfigured to include more pedestrian and bicycle infrastructure.
- **Maple Street:** Parallel to Pollard, Maple is a critical Downtown grid street. It serves civic destinations such as the Vinton Public Library, and the Vinton Baptist Church. Its western side adjoins mostly commercial Downtown uses while its eastern side adjoins a mixture of commercial, institutional and residential uses.
- **Poplar Street:** Aside from serving some institutional parking lots, Poplar Street mostly serves established residential homes adjacent to Downtown.
- **Lee Avenue:** The retail main street of Downtown Vinton, Lee Avenue runs parallel to Washington Avenue and connects the Vinton Farmers Market to residential neighborhoods east of Downtown. Lee Avenue, between Railroad Avenue and Maple Street, hosts the most consistent traditional historical building facades in the Town.
- **Jackson Avenue:** Jackson Avenue runs parallel to Lee Avenue and connects Railroad Avenue to residential neighborhoods to the west of Downtown. The street is increasingly important to Downtown with the addition of the new Vinton Library between Maple and Pollard. The library's addition has set a great redevelopment standard for future sidewalk design throughout Downtown.
- **Cleveland Avenue:** Cleveland Avenue is a significant Downtown street connecting Downtown to residential neighborhoods to both the east and west. It runs parallel to Walnut Avenue and Washington Avenue. Cleveland Avenue will become increasingly important as a pedestrian link as Downtown revitalizes and redevelops. While some intermittent sidewalks exist along Cleveland, infill sidewalk construction along Cleveland should be prioritized in the future.

# VINTON URBAN DEVELOPMENT AREAS (UDAs)



## Legend

- Town Boundary
- Major Streets
- Secondary Streets
- Rail
- Buildings
- Property Parcels
- Park
- Floodplain

## Urban Development Areas (UDAs)

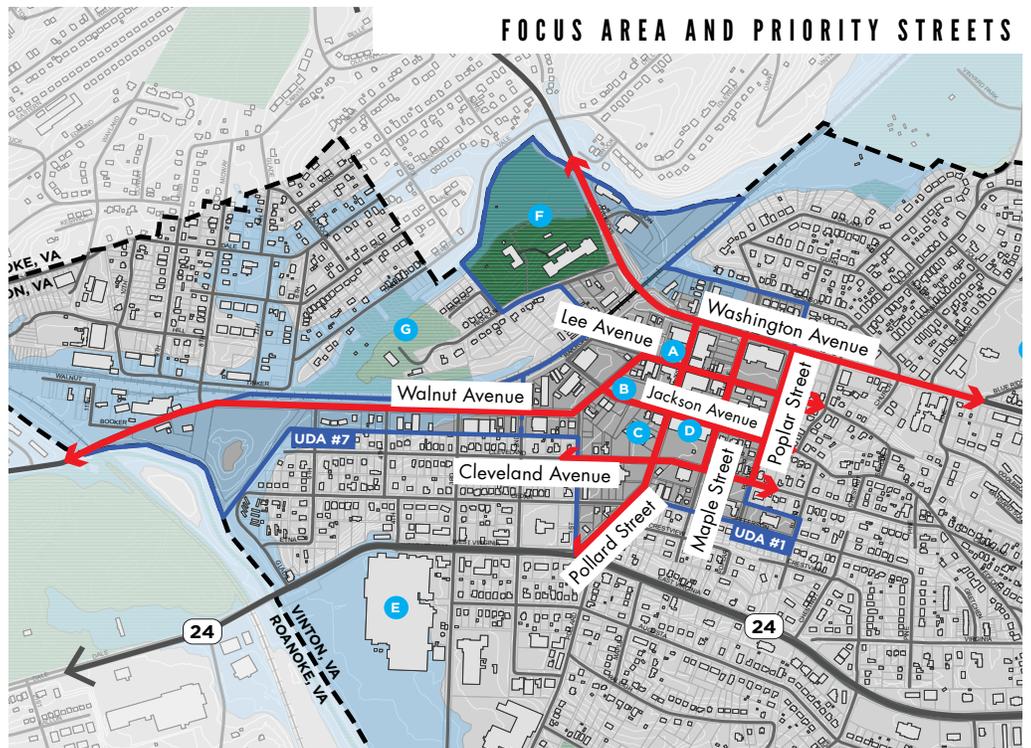
- 1) Downtown
- 2) Hardy Road Gateway
- 3) Bypass Road/Hardy Road "Mid-Town"
- 4) Mid-Washington Corridor
- 5) Virginia Avenue Gateway
- 6) Virginia Avenue Corridor
- 7) Walnut Avenue Gateway
- 8) Washington Avenue Gateway

## Legend

- Town Boundary
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- Park
- Floodplain
- ACTION PLAN AND GUIDELINES FOCUS AREA
- ACTION PLAN AND GUIDELINES PRIORITY STREET

## KEY SITES

- A Post Office
- B Fire Department
- C Town Hall
- D Library
- E Precision Fabrics Group
- F William Byrd Apartments
- G Gearhart Park



# FOCUS AREA AND PRIORITY STREETS

# BUILDING COMPONENTS

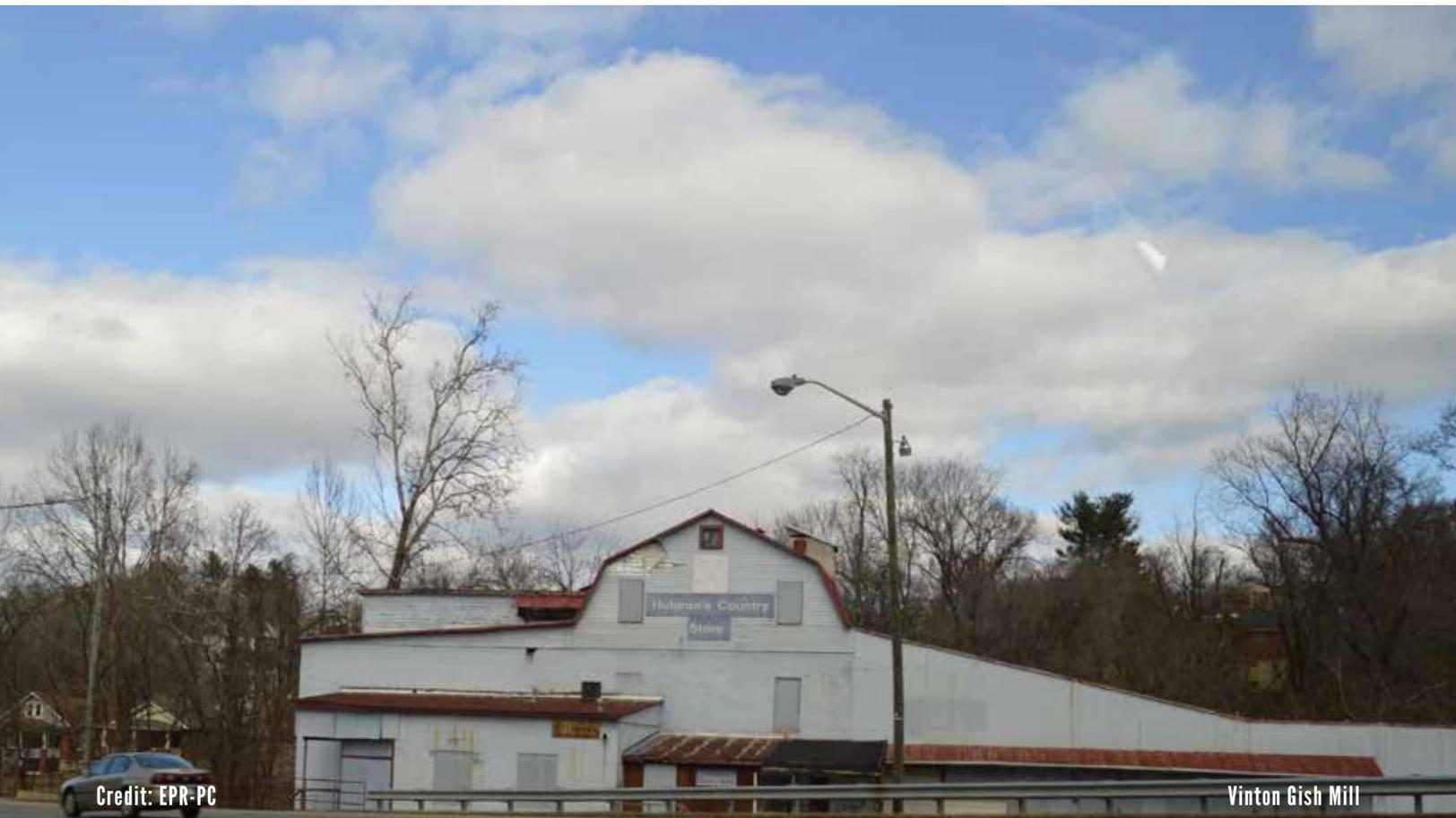
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## INTRODUCTION

Most facades consist of a well-defined architectural framework designed to characterize individual storefronts. Each storefront should respect this architectural framework and not extend beyond it. In a place like Downtown Vinton, where customers will access businesses from a variety of transportation modes, facade design in Downtown will have to appeal to pedestrians, bicyclists, and drivers. That being the case, during facade renovations, facade components should respect and build upon those elements

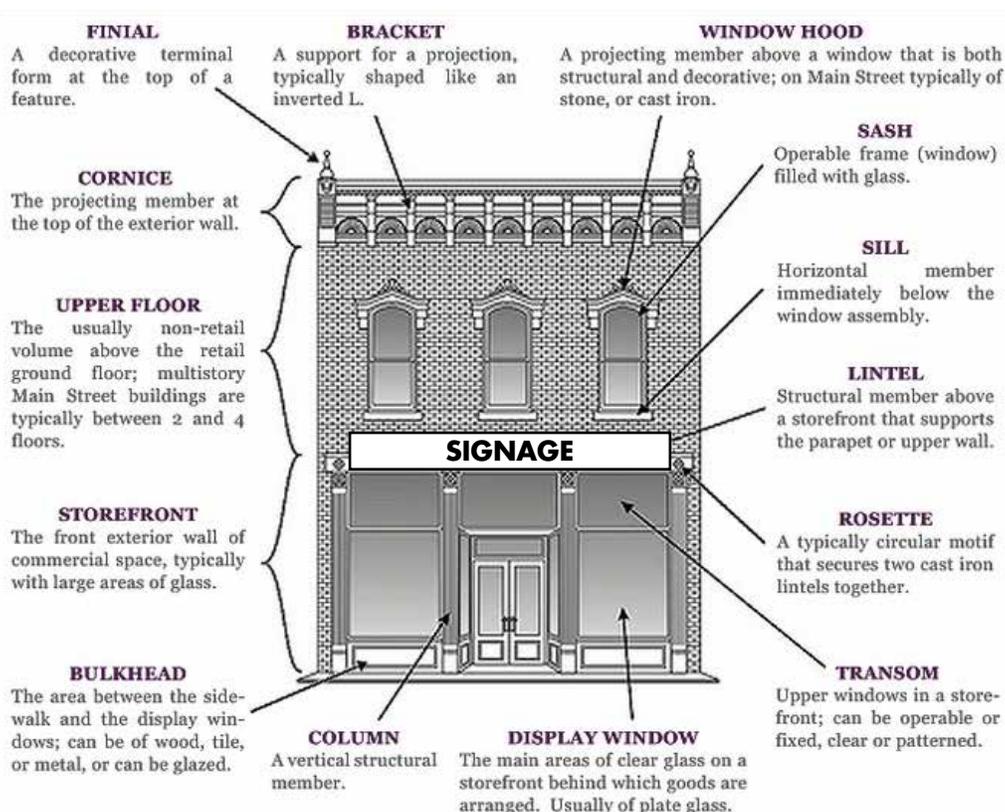
comprising of the building's original vernacular. New building facade designs may look different than their older neighbors. However, any new building facades must be context sensitive and coordinate with surrounding building facades. The following guidelines provide insight and direction to general facade/storefront design in Downtown Vinton.



## GENERAL FACADE/STOREFRONT DESIGN

Vinton's downtown is filled with beautifully proportioned historic facades, especially along Lee Avenue. As building restorations and infill development occur, property owners and developers should consider the following guidelines.

- Storefront design should be in keeping with a building's overall design. Storefront elements (i.e. windows, entrances, and signage) provide clarity and lend interest to facades. It is important that the distinction between individual storefronts, the entire building facade, and adjacent properties be maintained.
- Individual storefronts should be clearly defined by architectural elements (i.e. pillars, piers, or glass separations).
- A horizontal band at the top of each storefront can serve as an appropriate location for business signage.
- Storefront windows should be consistent in height and design with storefront doors to create a cohesive appearance.
- Storefront windows should not be completely obscured with display cases that prevent customers and pedestrians from seeing inside.
- Storefront windows should display products or services, local business logos, hours of operation, and/or public service messages. Displays in both retail and non-retail storefront windows that add color, texture, information, and/or visual activity to the pedestrian experience are encouraged.
- "Transparent" storefronts are not always necessary for some businesses, such as professional offices. Nevertheless, even for such businesses it is preferable to maintain the size of the original storefront windows. New storefronts should achieve a minimum of 60% glazing on front facades. Proprietors can provide attractive window displays or install blinds as appropriate for office locations. Open, visible storefronts contribute to the vitality of the streetscape and are more flexible for future changes than permanently blocking windows.



## GENERAL FACADE/STOREFRONT DESIGN EXAMPLE IMAGES



## FENESTRATION

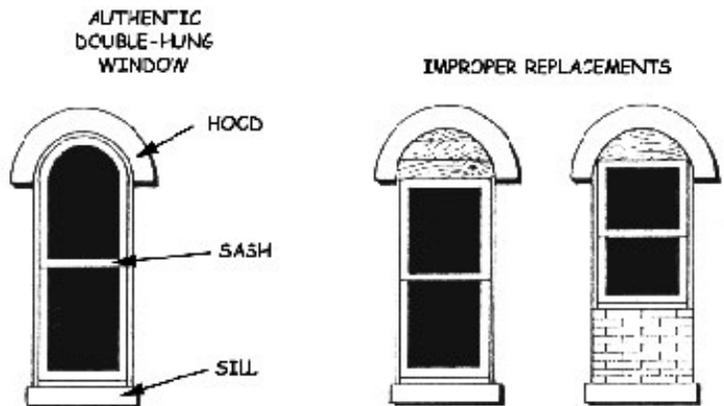
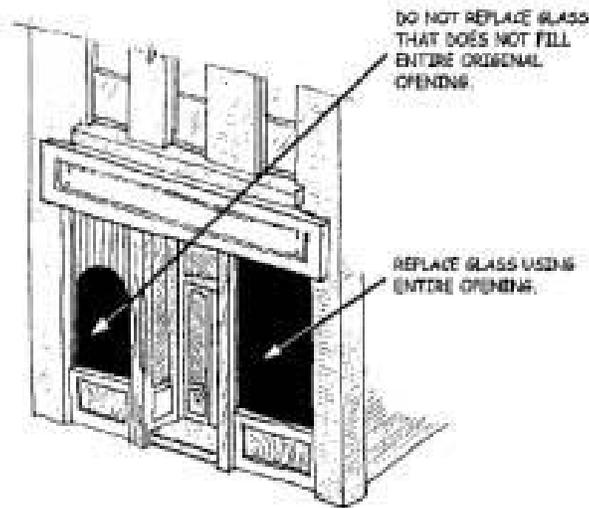
Windows, doors, and glazing are the primary ways that buildings relate to their environment and users. The more transparent a building facade is, the more it relates to its streetscape and communicates its interior functions to the public. Downtown buildings with the most appealing fenestration treatments will include and follow the characteristics and guidelines listed below.

### WINDOWS:

- Whenever possible, a building's original window pattern should be retained. Avoid blocking, reducing the size, or changing the design of windows. Windows should be used to display products and services, and maximize visibility into storefronts.
- Window openings that have been blocked or screened by concrete block, brick or plywood etc. should be reopened to reestablish the original rhythm of the facade.
- Commercial storefront windows traditionally tended to be

large at the ground-floor level. During renovation or new construction, this approach is encouraged.

- Retain or increase window transparency whenever possible. Replace reflective or dark tinted glass with clear glass. In general, dark glass alienates pedestrians from the business activity inside a storefront and reduces the impact of window displays.
- Avoid installing opaque panels, such as metal, wood, and/or other materials, to replace clear glass windows.
- Windows with multiple, small panes should be avoided unless they are historically appropriate to the building style, or integrate well into the overall contextual design.
- Do not use Plexiglass or other replacement materials instead of glass.
- Safety glass is required when windows are 18" or less from the ground.
- Fix broken windows immediately. Broken or boarded



windows negatively impact both the business and the district.

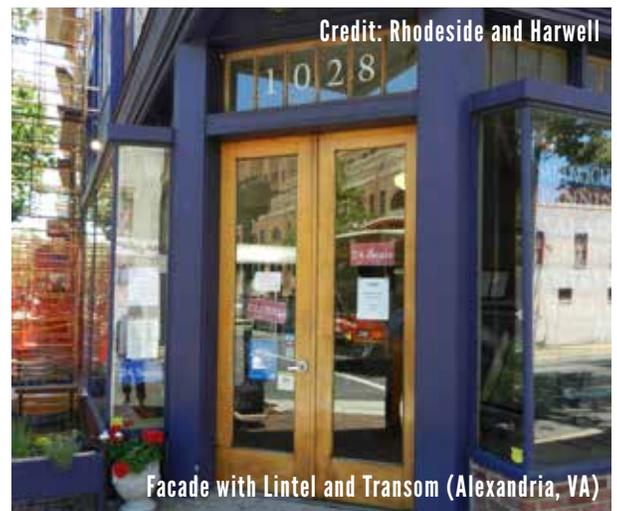
- Avoid using window openings for mechanical equipment (such as air conditioners, louvers, air exhausts)

#### DOORS AND ENTRANCES:

- Primary entrances should be clearly marked, welcoming and provide easy passage from the exterior to the interior. Whenever possible, they should be located on the front of buildings.
- Side entrances should be located as close to the building front as possible.
- Recessed doorways are encouraged; they provide cover for pedestrians and customers in bad weather and help identify the location of store entrances. They also provide a clear area for out-swinging doors and offer opportunities

for interesting paving patterns, signage, and displays.

- New store entrances must be compliant with the Americans with Disabilities Act (ADA). Renovation of existing entrances is encouraged to accommodate this requirement.
- Loading and service entrances should be located on the side or rear of buildings, whenever possible. They should be screened from public ways and adjacent properties to the greatest extent possible.



## PERMANENT SIGNAGE

Memorable signage tends to convey an image as well as a direct message. Restrained and tasteful signs suggest a high-quality business. A jumble of oversized and competing signs- even on a single Downtown facade can confuse customers. Any new signage added to building facades in Downtown must be compatible with the Town of Vinton signage.

### GENERAL GUIDELINES:

- Sign materials should be compatible with materials used in the building. Painted wood and metal are particularly encouraged because these materials convey durability.
- Individual letters affixed directly to a sign frieze may be used. (See pages 16-17)
- Signs shall be directly or indirectly illuminated, or shall have separately back lit letters.
- Spotlighting to draw attention to sign and architectural details is encouraged.
- Light spillage on adjacent properties is strongly discouraged.

### WALL SIGNAGE:

- Wall signs shall not exceed the height of the building cornice. Street facade signs and display ads shall not exceed 10% of each main floor facade area.
- Wall signs should be flush-mounted or painted directly on the flat surface of the building.
- Wall signs should be placed in traditional locations in order to fit within architectural features, for example: (a) above transoms, (b) on cornice fascia boards, and (c) below cornices.

### BRACKET/HANGING/PROJECTING SIGNAGE:

- Brackets for projecting signs should be located under a second-floor windowsill or a maximum of 15 feet from the street level. Projecting signs shall be no larger than 12 square feet in area.
- The use of sign symbols, logos, and cutouts, particularly in projecting signs is encouraged.
- Symbolic and historic three-dimensional signs such as barber shop poles and appropriately-sized projecting signs are encouraged. Signage should have the capability of being lit in the evening, although the source of light must

not be distracting to motorists or pedestrians.

### ROOFLINE SIGNAGE:

- Roofline signage is a bold way to add distinct signage and branding to a building but must be used sparingly.
- Roofline signage is only applicable to destination buildings and uses like theaters, entertainment venues, or market places.
- The only other appropriate application for roof signage would be as landmark or gateway feature for Downtown Vinton. This type of signage would have to be coordinated with all Downtown's business owners, Vinton's Economic Development and Planning Offices.

### PAINTED WALL/MURAL SIGNAGE:

- Painted wall signage, especially on brick surfaces, can work as both practical signage and as a mural. Painted signage should be applied by an artist or design professional.
- Painted signage should never cover or replace fenestration
- Painted signage works best on blank side facades.

### WINDOW SIGNAGE:

- Signage permanently painted on glass is encouraged within up to 10% of the glass area.
- Avoid window signage that reduces interior visibility.
- Window signage should emphasize graphics or logos and avoid non-logo text.
- Consider readability when selecting text fonts and colors.

### MULTI-BUSINESS SIGNAGE:

- When more than two businesses occupy the same building, identifying signs should be grouped together in a single panel. Similar letter forms and backgrounds to make up a coherent directory should also be used.

### TEMPORARY BANNER SIGNAGE:

- A temporary banner sign requires a special permit. For more information on temporary banner signs, visit: ([https://library.municode.com/va/vinton/ordinances/code\\_of\\_ordinances?nodeId=11663](https://library.municode.com/va/vinton/ordinances/code_of_ordinances?nodeId=11663)).

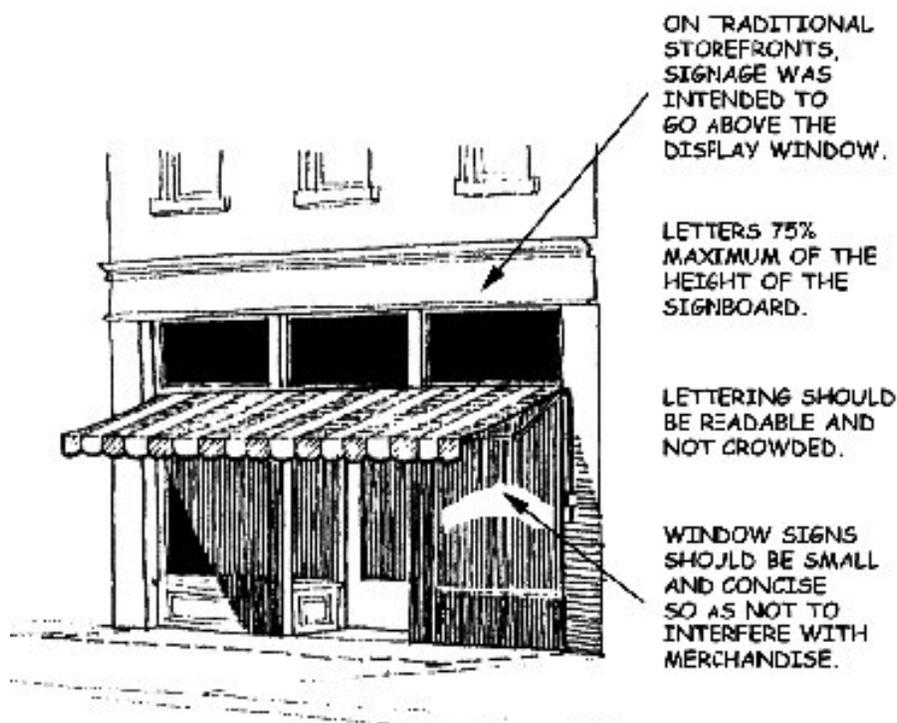
## TEMPORARY AND DISCOURAGED SIGNAGE

### TEMPORARY SIDEWALK SIGNAGE:

- **A-Frame/Sandwich Board:** Sandwich boards work best to advertise daily deals, events or specials and are encouraged. Such signage should never block pedestrian movement along the sidewalk. Sidewalk signage should also never be wider than 24" or taller than 32".
- **Decal/Sticker:** Decal or sticker signage is generally not encouraged in Downtown Vinton. However, temporary decal signage no larger than 11" x 17" can be applied sparingly to windows or doors as long as building interior views are not obstructed.
- **Chalk-on-Sidewalk:** A playful and tactical form of advertising, chalk-on-sidewalk temporary signage is most effective to communicate with pedestrians and cyclists moving along Downtown's streets. Using this form of advertising is encouraged and promotes interaction with customers within the streetscape. While no permit is required to advertise with chalk on Downtown's sidewalks, businesses should refrain from advertising outside the sidewalk directly in front of their buildings.

### DISCOURAGED SIGNAGE:

- The Town of Vinton strongly discourages the use of the following signage, facade components, and promotional products in the public realm:
  - Flashing signs
  - Digital Signage
  - Pedestal signs and pole-mounted plastic signs
  - Mass-produced blow mounted plastic signs
  - Billboards of all types and sizes (attached or free-standing)
  - Portable trailer signs
  - Historically incompatible canopies, awnings, and imitation mansard roofs made of metal, rough-sawn wood, plastic, shakes, or asphalt roofing
  - Vending machines dispensing food or drinks on the exterior of any structure



## PERMANENT AND TEMPORARY SIGNAGE EXAMPLE IMAGES

Credit: Rhodeside and Harwell



Multi-Business Signage (Alexandria, VA)

Credit: Dean Jeffrey



Theater Marquee Signage (Roanoke, VA)

Credit: Rhodeside and Harwell



Sidewalk Signage (Alexandria, VA)

Credit: Rhodeside and Harwell



Mounted Sign for Upper Story Office Tenant (Alexandria, VA)

Credit: Rhodeside and Harwell



Hanging Bracket Sign (Alexandria, VA)

Credit: McNeil Signs



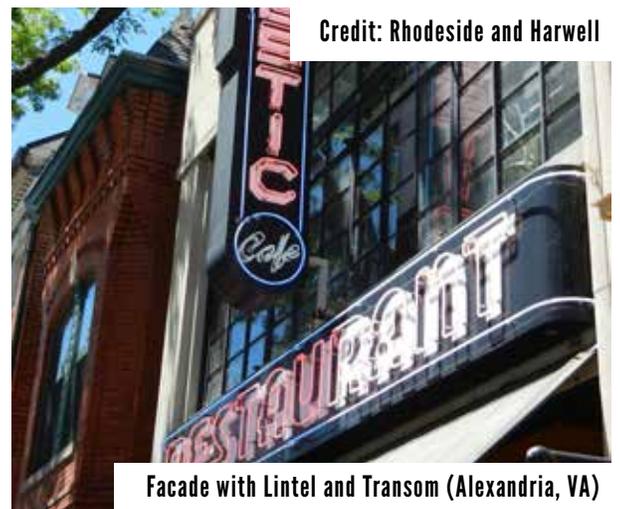
Sidewalk Sign (Atlanta, GA)

Credit: Roanoke Eats



Painted Signage on Brick (Roanoke, VA)

Credit: Rhodeside and Harwell



Facade with Lintel and Transom (Alexandria, VA)

PERMANENT AND TEMPORARY SIGNAGE  
EXAMPLE IMAGES

Credit: Pacific Neon



Roofline Signage (Nashville, TN)

Credit: Rhodeside and Harwell



Sculptural Corner Signage  
(Alexandria, VA)

Credit: Pacific Neon



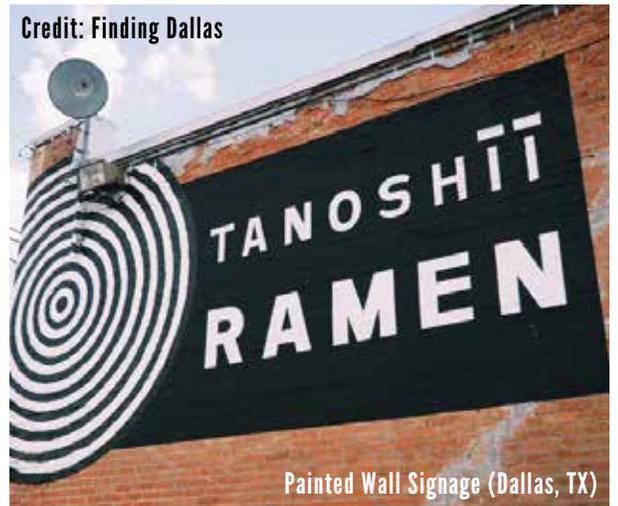
Lit Roofline Signage (San Jose, CA)

Credit: Wall Signage



Painted Signage on Brick (Atlanta, GA)

Credit: Finding Dallas



Painted Wall Signage (Dallas, TX)

## ROOFS, PARAPETS AND STEP BACKS

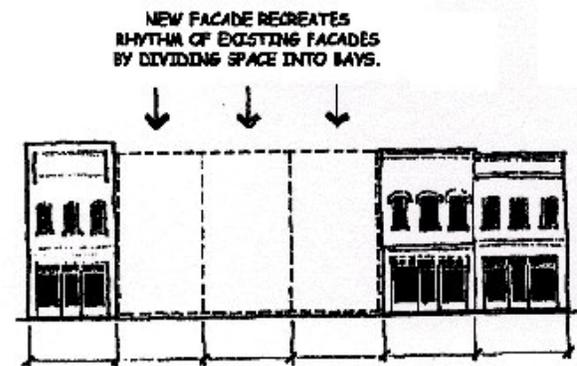
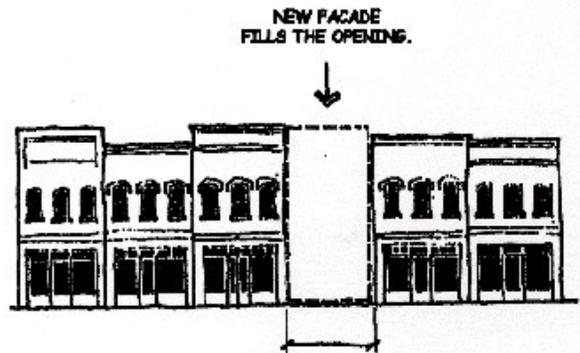
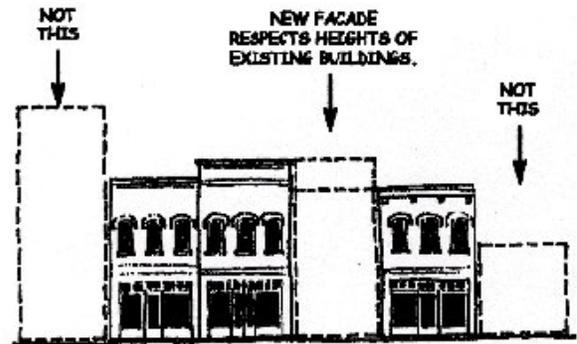
With few exceptions, Downtown Vinton's roofs are flat with front parapets along each building's facade. This building type is common to small town main street architecture. Any new infill or redevelopment projects in Downtown Vinton should respect this context during the design process.

While infill development should respect the rooflines and heights of surrounding buildings, new developments in Downtown Vinton are not forced to match the average 1-2 floor buildings in Downtown. New developments in Downtown are encouraged to reach upwards of 4 floors in height but should transition appropriately to the building heights of their neighbors.

The diagram to the right illustrates how infill development facade heights can be designed to fit appropriately into context. New developments should never be shorter than their neighboring buildings. However, if a new development is anticipated to be 4 floors tall and is adjacent to a building of 1-2 floors, the development applicant should consider stepping rooflines back incrementally to avoid situations where a new development is 2-3 floors taller than its neighbor.

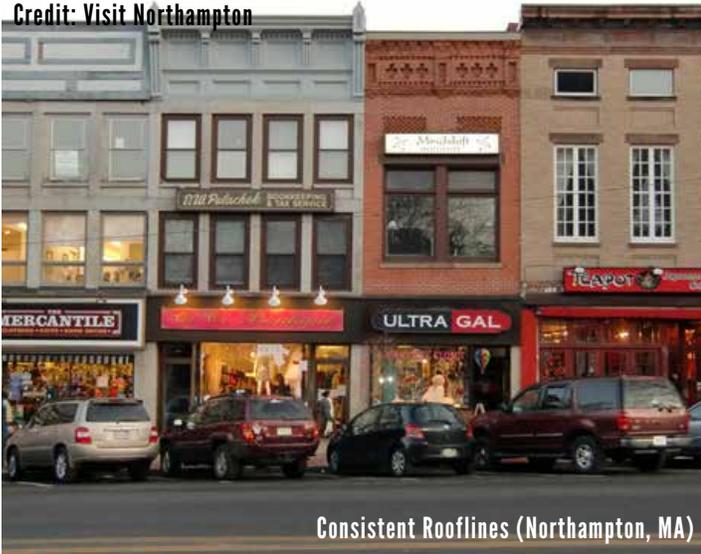
New development roofs, parapets, and step backs should also abide by the following criteria:

- Rooflines should mimic the separate yet complimentary rhythm of historic buildings.
- Flat roofs (slightly sloped to drain) are preferred with parapets that articulate the rhythm of the buildings. Parapets should be embellished with brick detailing and stepped or sloped to achieve a visually interesting yet harmonious sequence along the building facade.
- Sloped roofs are not allowed unless the roof form is concealed by a parapet or false front. Exceptions may be granted if the sloped roof is used on top of a multi-story building to help reduce the overall height of the facade and define the residential character of the upper floors.



## ROOFS, AND PARAPETS EXAMPLE IMAGES

Credit: Visit Northampton



Consistent Rooflines (Northampton, MA)

Credit: Wikimedia



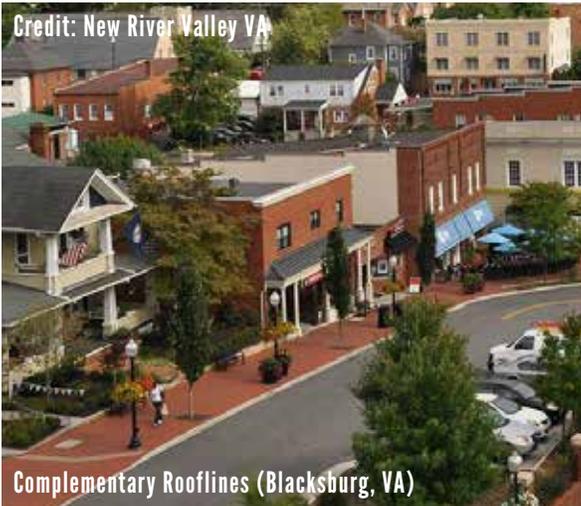
Staggered and Complementary Rooflines (Staunton, VA)

Credit: Providence Place Living



New Staggered Building Facades (Huntsville, AL)

Credit: New River Valley VA



Complementary Rooflines (Blacksburg, VA)

Credit: Parker Michels-Boyce



Rhythmic Rooflines Across Consistent Facades (New Town St Charles, MO)

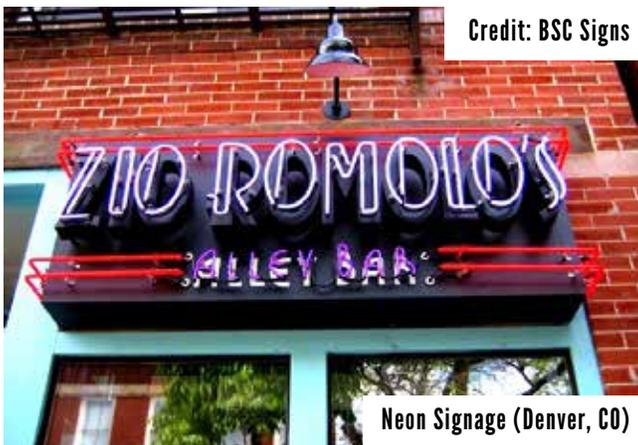
## FACADE LIGHTING

Buildings with well-designed facade lighting are critical to contributing to Downtown's vibrancy and ambiance in the evening and night hours. However, striking a balance between an over lit and under lit facade can be a challenge. The following guidelines can help achieve the appropriate lighting balance.

- Exterior lighting should highlight building elements, signs, or other distinctive features.
- Exterior building lighting should compliment the building's architectural style.
- Building lighting should provide an even illumination level. Avoid flashing or pulsating lighting, and lighting that poses a hazard to motorists.
- Avoid lights that glare onto windows, streets, public ways, or adjacent properties.

- Provide indirect lighting whenever possible.
- Aside from varying colors in artistic neon signage, facade lighting with strong colors and hues are not encouraged as they can add too much drama to the streetscape. Facade lighting that highlights building signage or architectural elements should be white or have a warmer hue.
- LED lighting is encouraged to reduce power consumption but should be carefully selected as to not be overly bright. When possible, LED lighting should mimic conventional lighting colors.
- Digital billboards are not permitted in Downtown Vinton.
- Seasonal lighting is permitted and encouraged on building facades and sidewalk landscaping as long as electrical outlets are placed in ways that avoid tripping hazards from extension cords.

## NEON LIGHTING EXAMPLE IMAGES



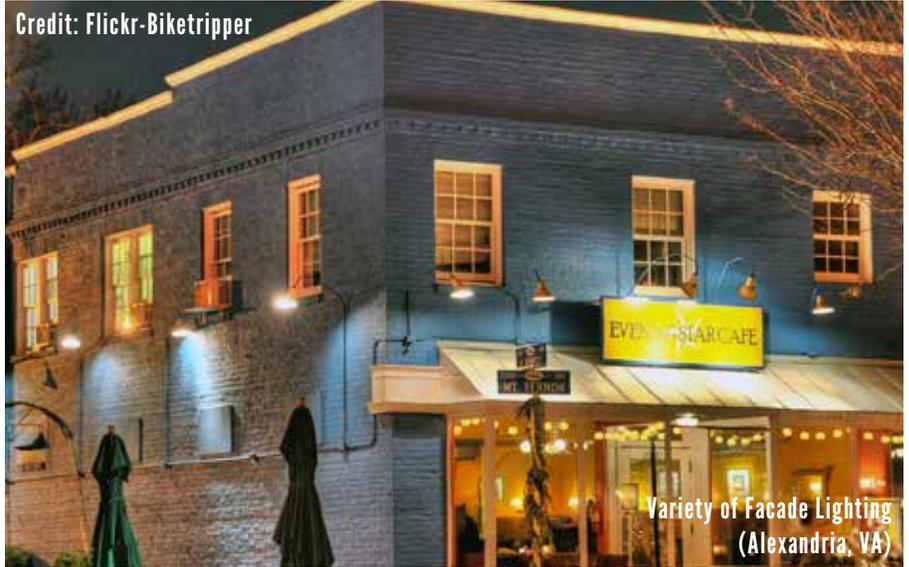
# FACADE LIGHTING EXAMPLE IMAGES

Credit: Rhodeside and Harwell



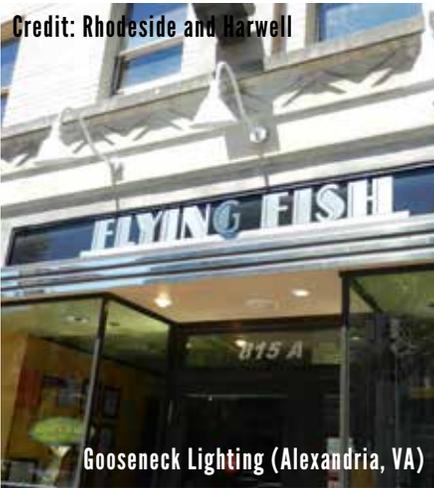
Subtle Spotlights (Alexandria, VA)

Credit: Flickr-Biketripper



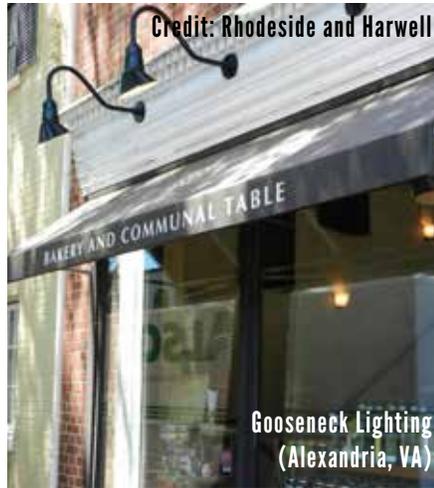
Variety of Facade Lighting (Alexandria, VA)

Credit: Rhodeside and Harwell



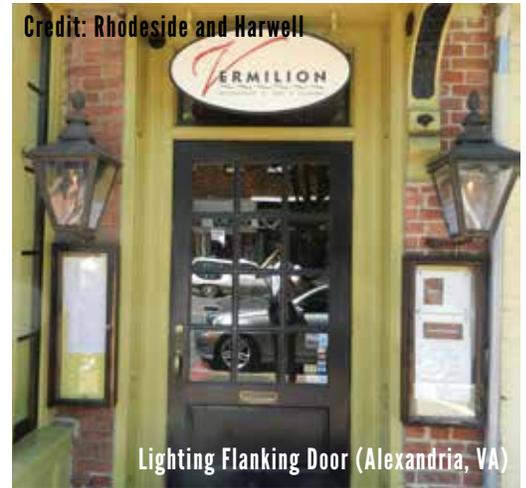
Gooseneck Lighting (Alexandria, VA)

Credit: Rhodeside and Harwell



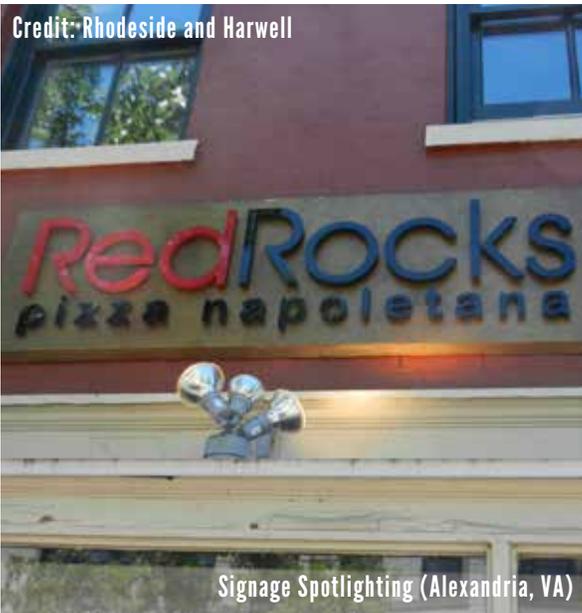
Gooseneck Lighting (Alexandria, VA)

Credit: Rhodeside and Harwell



Lighting Flanking Door (Alexandria, VA)

Credit: Rhodeside and Harwell



Signage Spotlighting (Alexandria, VA)



Variety of Facade Lighting (Bethesda, MD)

## FACADE PROJECTIONS

Facade projections are considered to be anything attached to and cantilevered from a building facade that protrudes into the sidewalk (or public) right-of-way. Facade projections typically include awnings, canopies, marquees, balconies and stoops. With the exception of new development in Downtown which can allocate wider sidewalks during the redevelopment process to provide more space for projections, most existing Downtown Vinton buildings can only accommodate standard awnings or canopies so as not to obstruct pedestrian movement along the sidewalk.

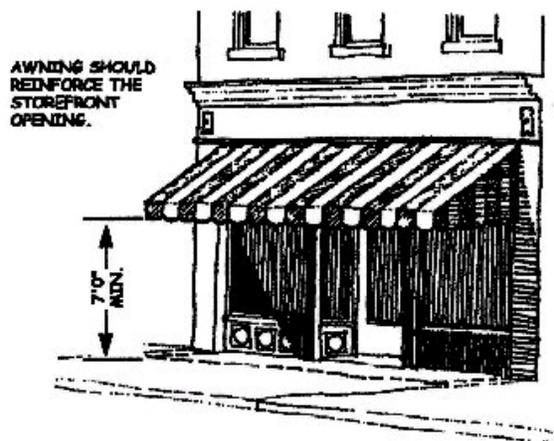
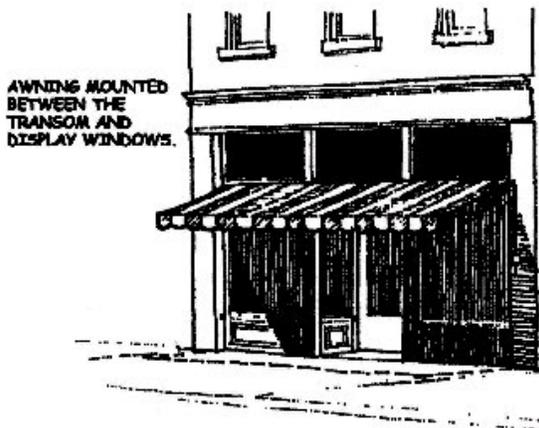
Awnings and canopies provide shelter to customers during inclement weather and can also add interest and a third dimension to a building's facade. The following guidelines provide more details on how to design an appropriate awning or canopy for Downtown Vinton.

### AWNINGS AND CANOPIES

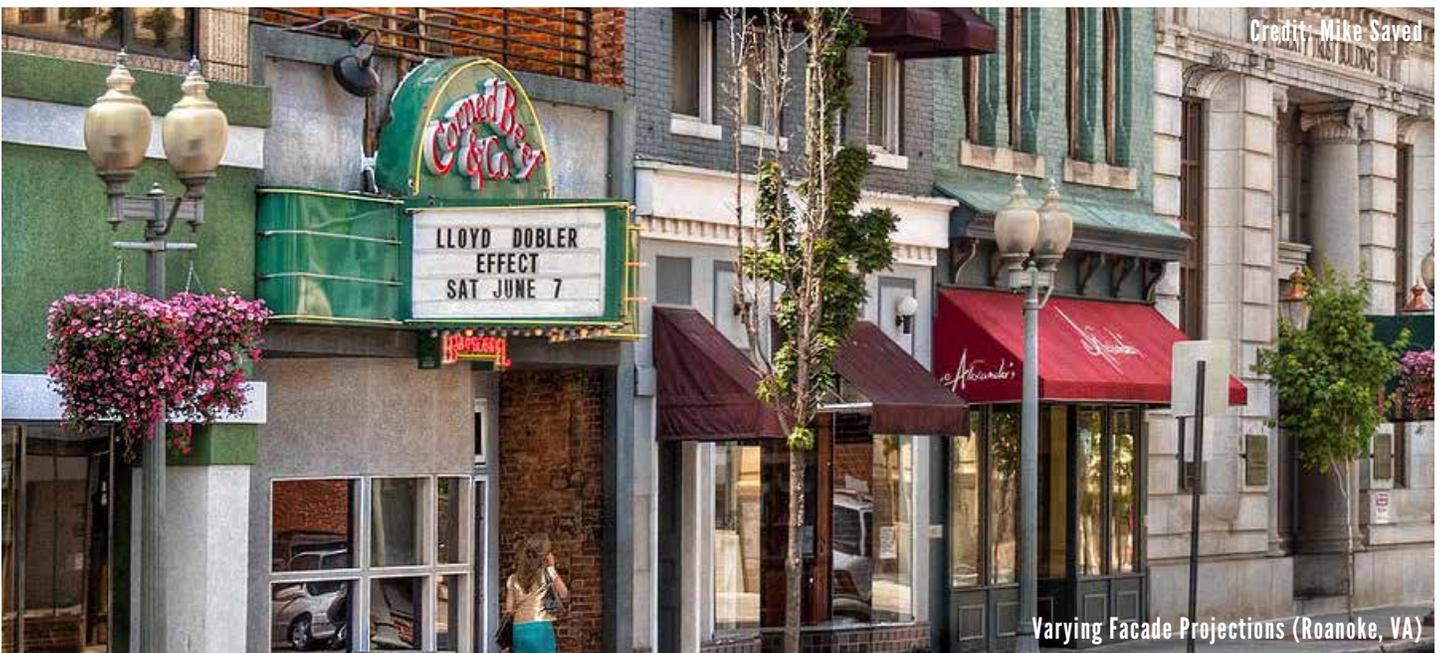
- Awnings, canopies and marquees provide a secondary location for signage. They add color and interest to building storefronts and facades and can be used to shelter display windows from the sun and rain.
- Awnings, canopies and marquees consistent with the local character and building type are encouraged.
- Awnings should reflect the overall facade organization of a building. Awnings should be located within the building

elements which frame storefronts.

- Important architectural details should not be concealed by awnings, canopies or marquees.
- Awnings on a multiple-storefront building should be consistent in character, scale, and location, but need not be identical.
- Awning shapes should relate to the shape of the facade's architectural elements.
- The use of traditionally shaped awnings is encouraged, when appropriate. Creative or unusually-shaped awnings should be designed with considerable care.
- If possible, top edges of awnings should be mounted to align with the top of the transom or with the framing above the main display window.
- Fabric awnings are encouraged. Canvas and fire-resistant acrylic are preferred awning materials. The use of vinyl or plastic as awning materials is discouraged.
- The use of awning valances for signs is encouraged.
- Long expanses of awning should be broken into segments that reflect the door or window openings beneath them.



## AWNINGS AND CANOPIES EXAMPLE IMAGES



## FACADE MATERIALITY

Facade materiality can provide interest, texture, and depth to a building. Most of Downtown's existing building facades are comprised of one primary facade material with differing but complimentary accent materials for elements like cornices, window framing, or awnings. Facade renovations and infill development projects should respect Vinton's traditional facade materials and build upon them with similar or complimentary materials. The following provide more detail on how to achieve balanced facade materiality.

- Facade design should be complimentary to a building's original materials as well as to those of adjacent buildings.
- Terra cotta, brick, and stone convey permanence and should be used when architecturally appropriate.
- When using new brick on an existing building, care should be taken to match the color and type of original brickwork.
- Painting brick is permitted and encouraged to provide variety to the streetscape.
- Use of decorative concrete block, applied false-brick veneer, vinyl or aluminum siding is discouraged. Other materials made to either imitate exterior finish materials or used to cover original architectural features are also discouraged.
- Materials used near sidewalks and adjacent building entrances should be highly durable and easily maintained while compatible with other exterior building materials.
- The surface cleaning of structures should be done by the gentlest means possible. Sandblasting and other cleaning methods, such as chemical washes, that will damage exterior building materials and features should not be undertaken.
- Existing cornices and/or building caps should be retained where possible and repaired as needed.
- When applied cornices have been removed, encourage replacement of the historic cornice if feasible. If replacement is not feasible, design a simplified cornice to define the top of the building and maintain the visual unity of building tops along the block.
- A building's mechanical, electrical and plumbing systems should be concealed completely from view from the street or sidewalk. If such equipment cannot be concealed, efforts should be taken to minimize their visual impact on building facades.
- Rooftop equipment should be hidden by screening devices so as not to be visible from the street and sidewalk.
- Avoid placing air-conditioning units in windows or any other openings facing onto the street. Units located in non-window openings are acceptable if they are flush with building walls. They should be screened with a decorative grill or any grill appropriate to the storefront design. Air-conditions units should not drain onto pedestrians passing below. Downspouts and other drains should be kept clear and well-maintained.
- A facade design should employ a limited palette of complimentary colors, which do not clash with the schemes of adjacent buildings. Extremely bold, intense color schemes and primary colors are permitted but should be applied sparingly.
- Facades should avoid using more than four colors for a single building (one or two body colors, one or two trim colors, and one accent color; these may be the same or different). Murals and artistic painted signage are not included in the building body and can contain more color varieties. Architectural elements on the building facade, such as canopies, balconies, and arcades, shall be in the same color as one of the four chosen building colors, except where constructed with material such as stone or brick that is left unpainted.

## FACADE MATERIALITY EXAMPLE IMAGES

Credit: Downtown Roanoke



Brick and Glass Facade (Roanoke, VA)

Credit: Cambridge Seven



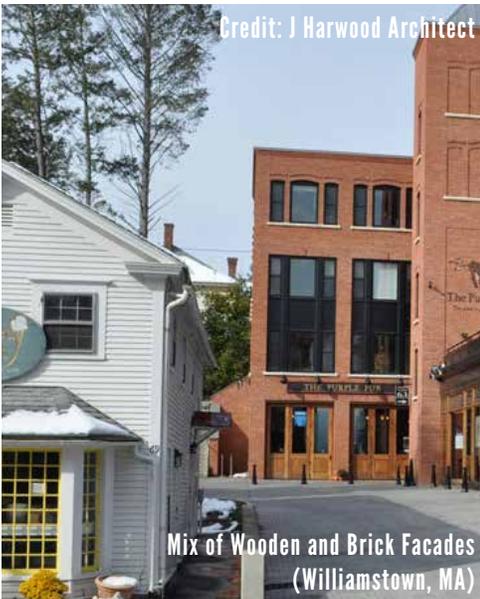
Wood Brick and Metal Facade (Williamstown, MA)

Credit: Streets Market



Hybrid Material Facade (Alexandria, VA)

Credit: J Harwood Architect



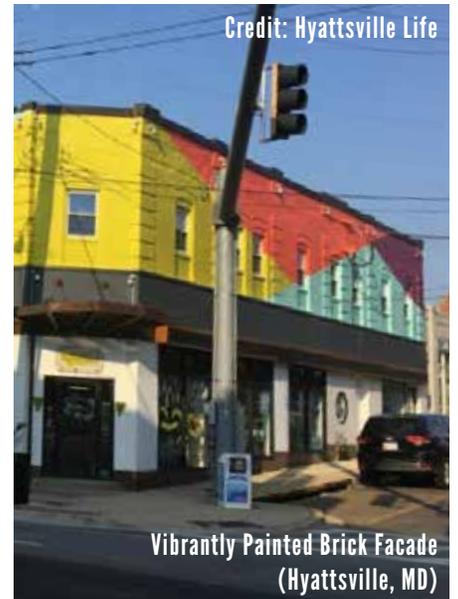
Mix of Wooden and Brick Facades (Williamstown, MA)

Credit: J Harwood Architect



Stucco Facade (Bueno Vista, CO)

Credit: Hyattsville Life



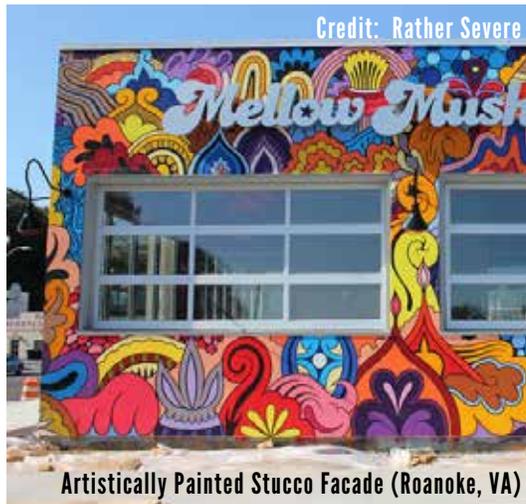
Vibrantly Painted Brick Facade (Hyattsville, MD)

Credit: Rhodeside and Harwell



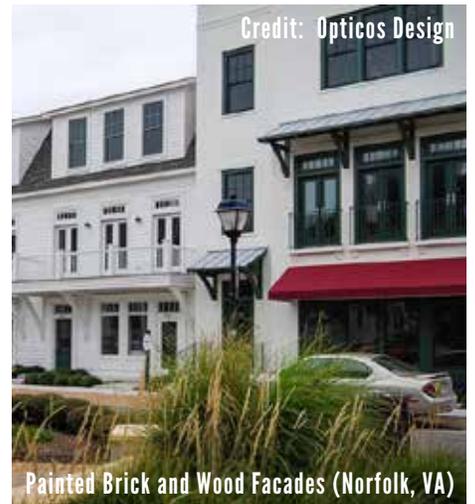
Wooden Facade (Alexandria, VA)

Credit: Rather Severe



Artistically Painted Stucco Facade (Roanoke, VA)

Credit: Opticos Design



Painted Brick and Wood Facades (Norfolk, VA)

# Complete Street and Sidewalk Design

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## INTRODUCTION / GOALS

Complete streets are streets that are designed and built for all people and transportation modes. This means that a street includes infrastructure for drivers, bicyclists, and pedestrians. Over time, all of Downtown Vinton's streets should be complete streets, and therefore incorporate more accessible and comfortable sidewalks.

While many of Downtown's streets are, or are close to becoming complete streets, not all existing sidewalk infrastructure is fully accessible or comfortable. Narrow rights-of-way force different transportation modes to compete for Vinton's streets and limit opportunities for more sidewalk amenities like street trees or street furniture.

Despite the constraints, there are still many opportunities to make Downtown Vinton's streets more complete and their sidewalks more enjoyable for the people who use them. The following sections provides inspiration and guidance for how Vinton can achieve complete streets and directly enhance its public realm through enhanced sidewalk design.



Credit: Rhodeside and Harwell

Planted Streetscape

## SIDEWALK ORGANIZATION

Along internal streets and external frontages, typical sidewalks should consist of three primary zones: a pedestrian through-zone, an amenity/building/frontage zone, and a furniture/planting zone:

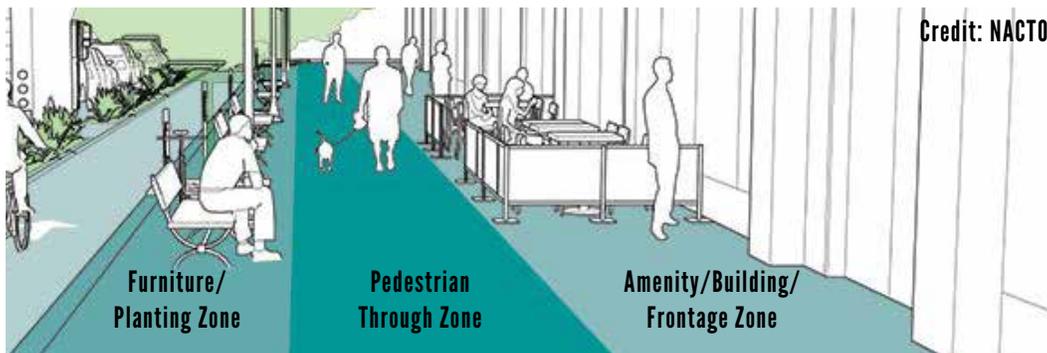
- 1. Pedestrian through-zone:** Continuing pedestrian through zones should be required on all streets. To facilitate comfortable pedestrian passage parallel to the roadway, the centrally-located sidewalk zone should be reserved for pedestrian movement with no physical obstacles (i.e., utility poles and street furniture) impeding the pedestrian's path. Ideally, this pedestrian through-zone is at least 6 feet wide.
- 2. Amenity/building frontage zone:** Immediately adjacent to the building facade, this sidewalk zone acts as a transition or threshold between the building interior and the sidewalk through-zone if space allows. This zone can function as semi-private space or as an extension of the building facade. This area works well for café seating, outdoor retail displays, small potted shrubs, and patron waiting.

- 3. Furniture/planting zone:** This zone accommodates planting strips along the street edge for street trees and other vegetation, as well as a range of site furnishings and amenities, such as benches and seating, bicycle racks, signage, trash receptacles, and street lighting if space allows. Where possible, landscaping should be included and maintained.

New streetscape and roadway projects must also consider the placement of public utilities given Vinton's narrow sidewalks. Whenever possible, utility lines should be consolidated and located to minimize disturbance of the existing streetscape elements. Utilities must never disturb the accessibility of the pedestrian through zone.

In Vinton's case, sometimes the pedestrian through zone is the only feasible sidewalk zone based on existing space constraints.

## IDEAL SIDEWALK CONDITION



Part of the Town's public right of way, when wide enough, the furniture/planting zone can include benches, trees, and plantings in addition to street lights.

In Vinton, the pedestrian through zone is part of the Town's public right-of-way. In all circumstances, this zone, which is ideally 5-6 feet wide, should never be blocked.

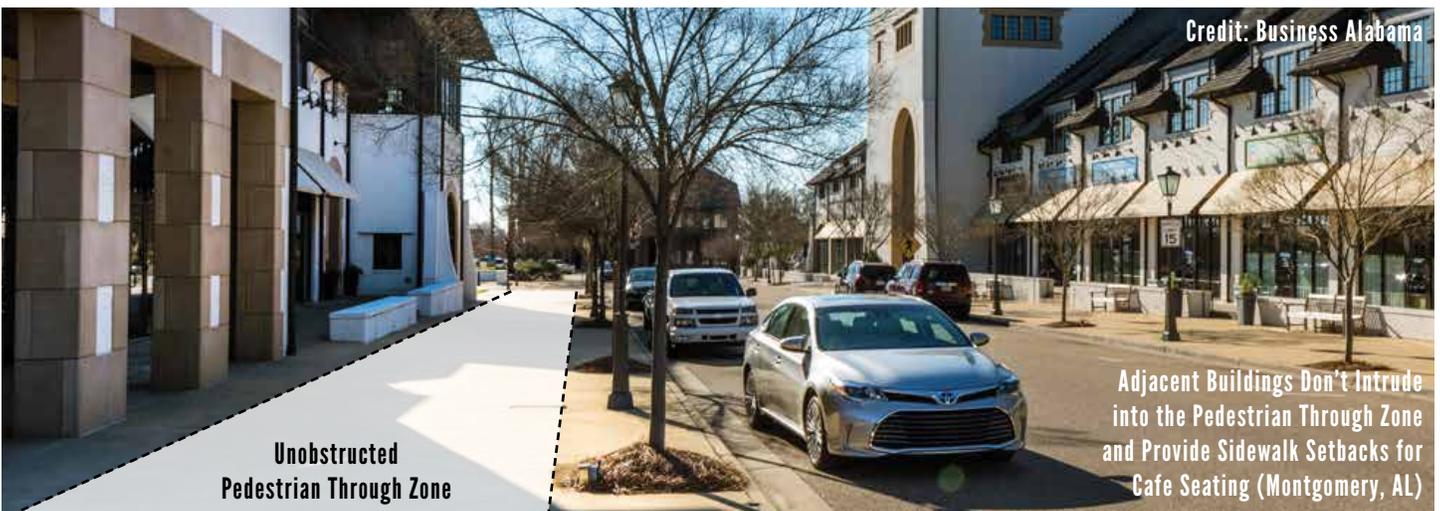
In Vinton, the amenity/building/frontage zone is located on private property. When possible and appropriate, this sidewalk zone can be used for cafe seating or movable plantings.

## SAFE PEDESTRIAN CROSSWALKS

Currently, many intersections in Downtown Vinton and its adjacent neighborhoods do not have adequate pedestrian crossing facilities. To comply with the Americans with Disabilities Act (ADA) of 1990, all intersections in Downtown Vinton must include ADA compliant pedestrian ramps and crosswalks to facilitate safe crossings.



## GOOD SIDEWALK ORGANIZATION IMAGE EXAMPLES



## SIDEWALK PLANTING, FURNITURE

Vinton's sidewalks define the public realm. As mentioned in the Sidewalk Organization section, the primary role of the sidewalk is to facilitate the movement of pedestrians. However, when space allows, the sidewalk should also be considered a space that fosters gathering, lingering and greenery. The sidewalk can allow for many types of activities. It can blend a building's ground floor activities with those of the street through programming and outdoor furnishings. When properly designed, sidewalks also host planting areas that support strong tree canopies and greenery.

With the exception of new developments which can be designed with wider setbacks to accommodate all three sidewalk zones, most of Vinton's existing Downtown sidewalks cannot accommodate generous amounts of permanent sidewalk plantings or furniture. While permanent planting and furnishing opportunities might be limited in Downtown, there are still opportunities for adding movable planters and furniture when space allows.

Movable above-ground planters include container plantings, raised planter beds, and hanging planter baskets. They add greenery to the streetscape without permanently eliminating paved space for pedestrians. When space allows, planters work well to protect and buffer pedestrians from moving vehicles and further define Vinton's sense of place. Any planters that obstruct pedestrian movement are prohibited. All planters added to the sidewalk must be regularly maintained and are the responsibility of the organization, property owner or business owner who installs them.

The following images illustrate creative ways to add plantings or furniture to constrained sidewalks. In most cases, the applications shown utilize plants that are colorful, vibrant, and textured. These plants are placed on the ground with movable planters or on building facades with trellis structures.

## SIDEWALK PLANTING AND FURNITURE IMAGE EXAMPLES



## SIDEWALK PLANTING AND FURNITURE IMAGE EXAMPLES



Credit: Rhodeside and Harwell

Narrow Planter for Narrow Sidewalk (Alexandria, VA)



Credit: Rhodeside and Harwell

Flowering Vines Along the Building Facade (Alexandria, VA)



Credit: Rhodeside and Harwell

Lush Planter in Building Frontage Zone (Alexandria, VA)



Credit: Rhodeside and Harwell

Planting with Fence on Residential to Commercial Conversion (Alexandria, VA)



Credit: Rhodeside and Harwell

Movable Planters and Bench (Alexandria, VA)

## FUTURE SIDEWALK OPPORTUNITIES

New developments that create new and wider sidewalks are not the only way to increase sidewalk sizes and amenities. Curb extensions are another way to increase the width of a sidewalk. Curb extensions typically exchange an on-street parallel parking space for more sidewalk space. In most cases, curb extensions work best at intersections to allow for safer pedestrian crossings. In some cases, curb extensions are ways to add street trees or cafe seating along a sidewalk that otherwise could not support such amenities.

The following images show main street locations that have applied curb extensions to enhance pedestrian and customer experience in a downtown area. These curb extensions can be creatively designed to add street trees and help mitigate seasonal flooding through Low Impact Development (LID) systems.

LID systems look like typical planting spaces along a sidewalk but serve a vital role in locations that experience frequent street flooding. LID systems use special soil blends, gravel, and plantings to absorb and retain stormwater. Following a storm event, these systems naturally clean and release water into the ground to replenish ground water instead of sending contaminated run-off into local streams and watersheds.

During future roadway projects, the Town should consider curb extensions and LID systems to further enhance Downtown's streetscapes. On a case by case basis, the Town of Vinton can also work with businesses and property owners in Downtown to create small curb extensions to add cafe seating and plantings to a businesses' adjoining sidewalk.

## SIDEWALK LOW IMPACT DEVELOPMENT (LID) IMAGE EXAMPLES

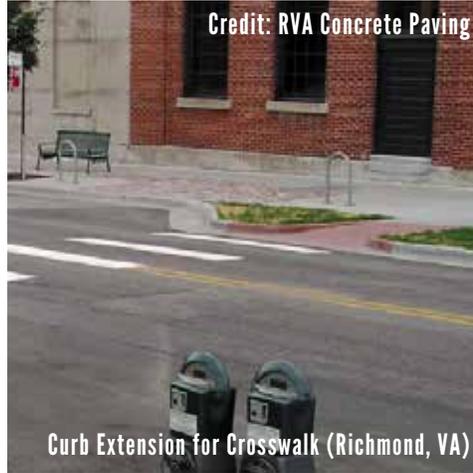
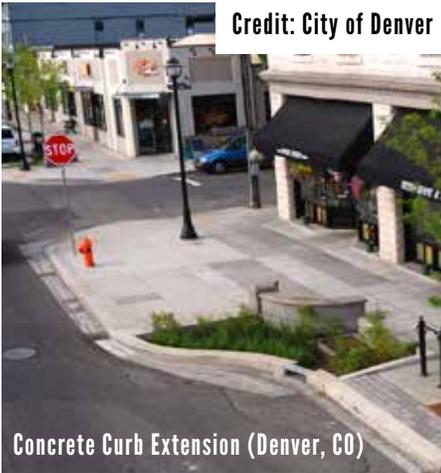
Credit: Rhodeside and Harwell



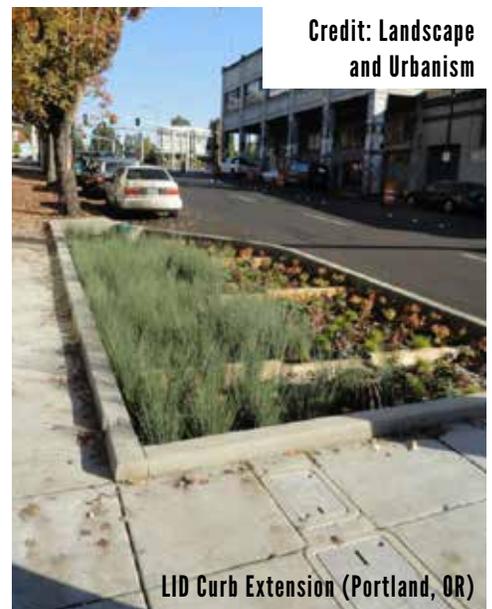
Credit: Rhodeside and Harwell



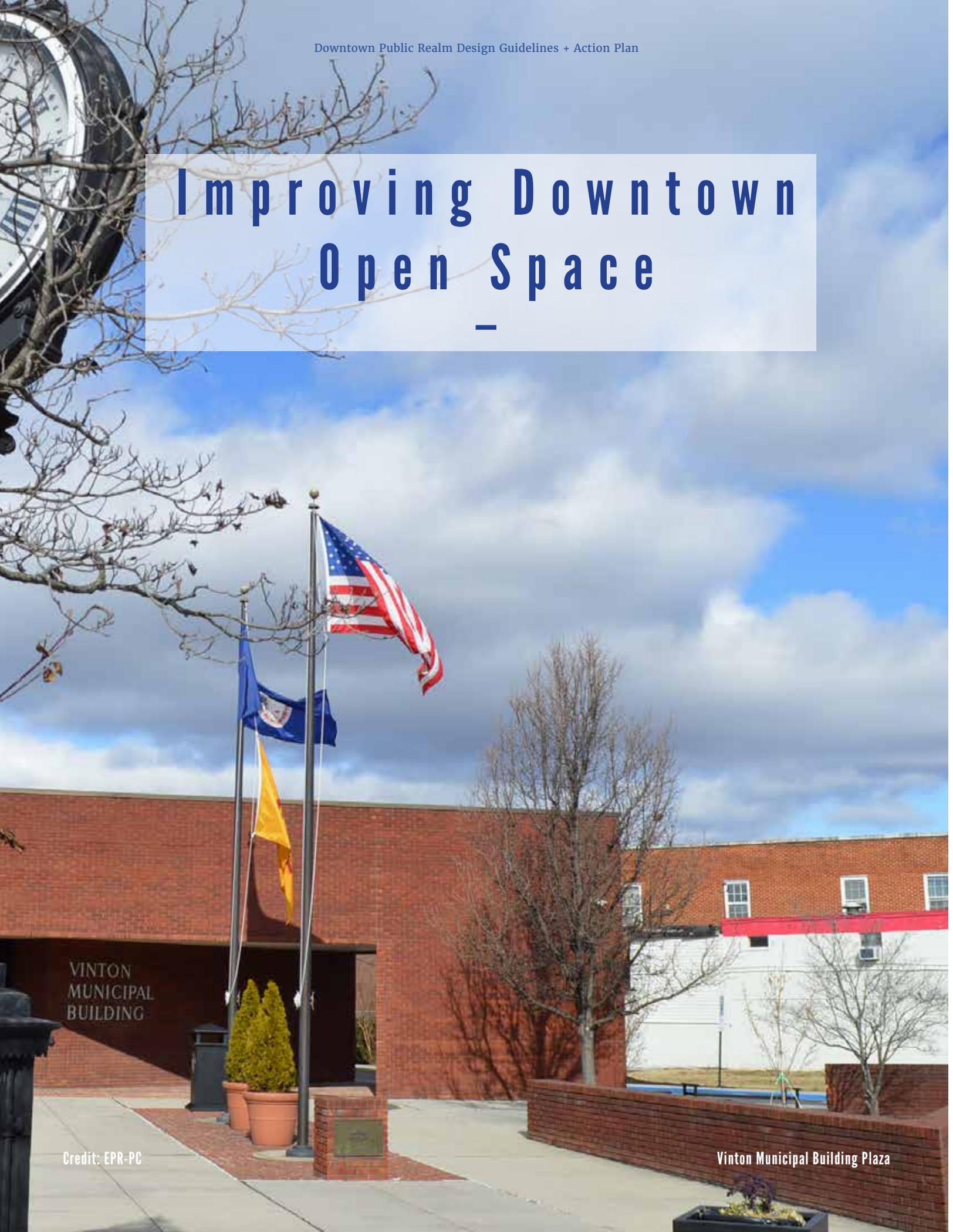
## SIDEWALK CURB EXTENSION IMAGE EXAMPLES



## SIDEWALK LOW IMPACT DEVELOPMENT (LID) CURB EXTENSION IMAGE EXAMPLES



# Improving Downtown Open Space



## INTRODUCTION

The Roanoke Valley is uniquely defined by its extensive greenway network linking the Town of Vinton with the City of Roanoke and other neighboring jurisdictions. The Greenway and other Vinton parks and open spaces are priceless amenities for the Town.

Vinton's large open spaces provide great opportunities for recreational activities, yet smaller urban parks are equally important to improving the quality of life in and around Downtown. With the exception of the Vinton Farmers' Market and the Vinton Municipal Building's small front plaza, there are no publicly accessible parks or open spaces in Downtown Vinton.

As the Farmers' Market evolves, as redevelopment opportunities arise, or when vacant Downtown properties are not being utilized, the Town of Vinton should pursue opportunities to improve or provide additional, publicly accessible open spaces.

The following sections provide guidance and inspiration for how Downtown Vinton can better incorporate publicly accessible open space into Downtown's public realm.



## VINTON FARMER'S MARKET

The Vinton Farmers' Market is strategically located near Downtown Vinton's major intersection of Washington and Pollard. Its current form serves as a seasonal open air market, but the structure and underlying parcel in Downtown could be much better utilized to serve the civic needs of Vinton's citizens and visitors.

The 2010 Downtown Revitalization Plan provides a vision and conceptual design for the Farmers' Market's future. The project is ambitious but worth pursuing when funding and partnership opportunities become available. However, some of the buildings and parcels re-imagined as part of the 2010 plan have already

been revitalized for other uses and require a revised design concept to meet the needs of present-day Downtown Vinton.

The images included below illustrate the 2010 vision for the Vinton Farmers Market which includes an enclosed "Winter Market" for year-round activity as well as a new town green space that could become a true focal point and central gathering space for Downtown Vinton. The images on the right illustrate different examples of how other jurisdictions have designed both simple and complex farmers' markets that are beautifully designed, and expand and enhance the public realm experience.

## 2010 ENVISIONED VINTON FARMER'S MARKET



## FARMER'S MARKET EXAMPLE IMAGES

Credit: Life Undeveloped



Semi Enclosed Farmer's Market (Charlotte, NC)

Credit: South End CLT



Enclosed Farmer's Market (Charlotte, NC)

Credit: Studio H



Farmer's Market Enclosure (Bertie County, NC)

Credit: Studio H



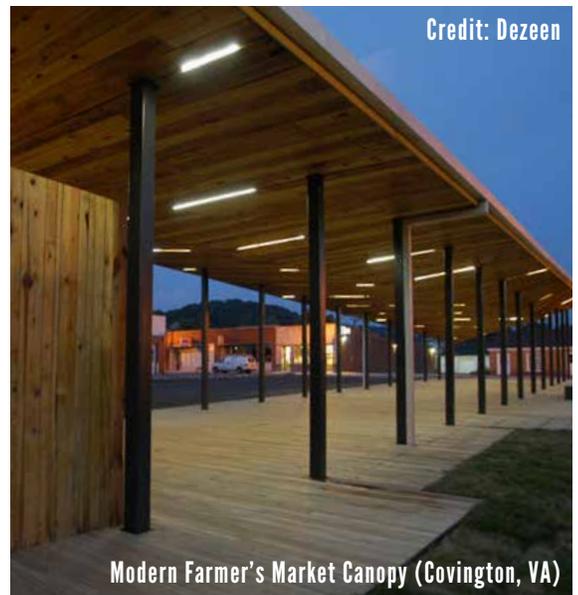
Farmer's Market Enclosure (Bertie County, NC)

Credit: Dezeen



Modern Farmer's Market Canopy (Covington, VA)

Credit: Dezeen



Modern Farmer's Market Canopy (Covington, VA)

## INTERIM PARKS AND PARKLETS

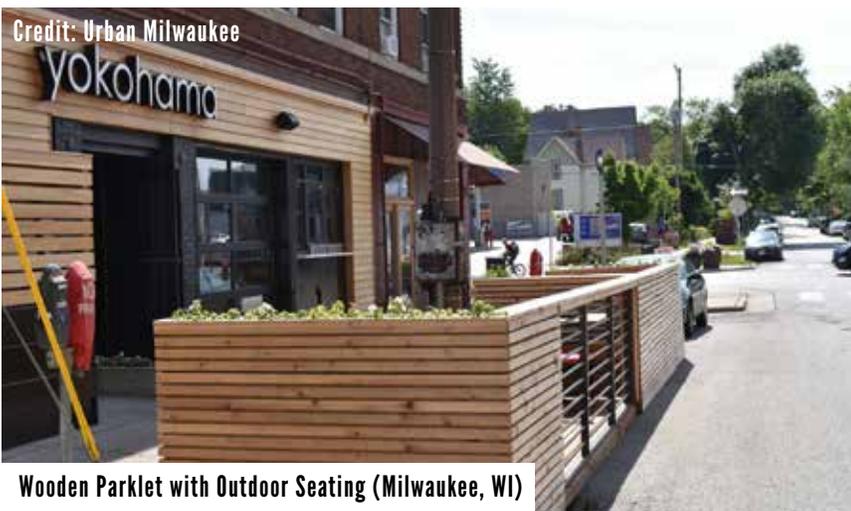
Downtown Vinton's limited vacant land and underutilized open space, parking lots, and on-street parking are great opportunities for interim parks and parklets. Interim parks are temporary and Do it Yourself (DIY) parks that are placed in underutilized or temporarily vacant land or parking lots. Parklets apply the same ideas to individual on-street parking spaces, and function as temporary curb extensions to extend sidewalk widths for cafe seating or plantings, primarily during summer months.

While there are many opportunities to add permanent new open spaces within Downtown Vinton during redevelopment or public works projects, open spaces don't always need to be a permanent fixtures. Interim parks allow businesses and residents to add

open spaces without the time and hassle of major construction. Additionally, sometimes it's helpful to test parks before fully committing to constructing permanent ones. Interim parks provide low-cost ways to add and test open spaces that provide respite and gathering spaces for Vinton's residents and visitors.

The following images illustrate creative examples of interim parks and parklets. The characteristics shown through these photos can be used as inspiration for future interim parks and parklets in Downtown Vinton.

### SEASONAL PARKLET EXAMPLE IMAGES



## INTERIM PARKS EXAMPLE IMAGES

Credit: Hyattsville Life



Vacant Lot to Temporary Park (Hyattsville, MD)

Credit: Hyattsville Life



Vacant Lot to Temporary Park (Hyattsville, MD)

Credit: Press Bay Alley



Interim Park from Parking Lot (Ithaca, NY)

Credit: Press Bay Alley



Interim Park from Parking Lot (Ithaca, NY)

Credit: Wayne Hulehan



Interim Park with Seating and Games (Alexandria, VA)

Credit: Wayne Hulehan



Interim Park with Seating and Games (Alexandria, VA)

## FUTURE DOWNTOWN POCKET PARKS

Pocket parks are small permanent parks that fit well into spatially constrained downtown areas. Many pocket parks are developed as part of infill development projects or as converted or undevelopable vacant land. These guidelines do not specifically identify Downtown locations for future pocket parks. The Vinton community should determine the most suitable locations when opportunities arise.

Pocket parks are great open space solutions for Downtown Vinton, and would work best if they evolve out of interim parks into formal and permanent open spaces. Based on their locations, sizes, and shapes, pocket parks should be programmed to best serve the needs of the Vinton community as appropriate for their locations.

The following images illustrate relevant pocket park designs and programming for Downtown Vinton. Understanding that pocket parks are small spaces, the most impactful pocket parks typically do not include more than one or two primary programs. While programming is critical to activating vibrant open spaces, over programming pocket parks can overwhelm users and inhibit spontaneous play or community gathering. Some pocket parks examples include very active spaces that incorporate playgrounds and adult exercise equipment. In contrast, other pocket parks emphasize respite and incorporate garden labyrinths and nestled seating areas.

## PERMANENT POCKET PARKS EXAMPLE IMAGES

Credit: The Sentinel



Pocket Park in Previous Vacant Downtown Lot (Carlisle, PA)

Credit: Alta Planning + Design



Pocket Park Created by Roadway Realignment (Bridgeport, CT)

Credit: Alta Planning + Design



Pocket Park Created by Roadway Realignment (Bridgeport, CT)

## PARK PROGRAMMING EXAMPLE IMAGES



# Public Art and Wayfinding



## INTRODUCTION

As an embedded part of Downtown Vinton, public art and wayfinding have the power to foster a “sense of place” in Vinton, and contribute to Downtown’s unique identity, history and context.

When public art is created locally and is placed strategically, it enhances the public realm by adding impact, meaning, and local personality to the public realm. Public art should continue to be integrated in the public right-of-way through a variety of forms such as sculptures, murals, and audio/light installations.

Based on the recommendations from the 2010 Downtown Revitalization Plan, the Town has worked to create a meaningful brand and set of wayfinding signage for Downtown. This brand is strong and should not be diluted. Nonetheless, there are many other opportunities to increase the quantity, placement, and layering of wayfinding within Downtown Vinton.

The following sections describe unique ways that public art and wayfinding can be better incorporated into Downtown Vinton’s public realm.

### Wayfinding in Downtown



MUNICIPAL BUILDING →

Credit: EPR-PC

## PUBLIC ART

Given the uniqueness of public art and the subjective ways in which it is interpreted, these guidelines avoid providing prescriptive guidance on design. Instead the following images provide local and national public art installation inspiration for Downtown Vinton.

When new development or renovation projects occur within Downtown, project applicants and designers are encouraged to incorporate public art creatively into building facades, sidewalk furniture, and within any publicly accessible areas. As alluded

to in the permanent signage section, public art can also be incorporated into building signage through sculptural, lit, or mural signage.

As opportunities and proposals for public art arise, the Town of Vinton will work with artists and organizations on a case by case basis during the approval and implementation process. At a minimum, the Town of Vinton will not permit the installation of public art that obstructs pedestrian movement along the sidewalk or that distracts drivers.

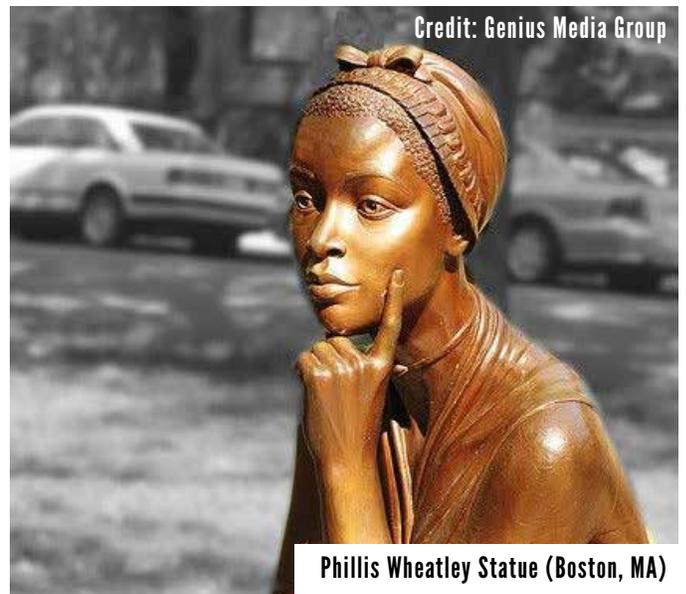
## PUBLIC ART EXAMPLE IMAGES

Credit: Roanoke Regional Partnership



Permanent Mural Installation at Beer Garden (Roanoke, VA)

Credit: Genius Media Group



Phillis Wheatley Statue (Boston, MA)

Credit: Fairfax County, Virginia



Hybla Valley Airport Memorial (Fairfax County, VA)

Credit: Inside Out Project



Tactical Print Mural Art (Roanoke, VA)

## PUBLIC ART EXAMPLE IMAGES

Credit: Vinton Messenger



LOVE Sculpture (Vinton, VA)



Credit: CRJA

Sculptural Street Furniture (Cambridge, MA)



Credit: Susan Reep

Bronze Streetscape Sculpture (Grand Junction, CO)



Credit: Delaware River Waterfront

Light Installation in Park (Philadelphia, PA)

## WAYFINDING

To support Vinton's new brand and facilitate movement within Downtown, designing and implementing additional wayfinding should be explored at all levels. While some wayfinding signage exists to direct drivers into Downtown Vinton, wayfinding within Downtown, especially for pedestrians and bicyclists, is limited.

As Vinton grows and evolves, Town staff, community organizations, businesses and residents should explore implementing more wayfinding in Downtown. As illustrated in

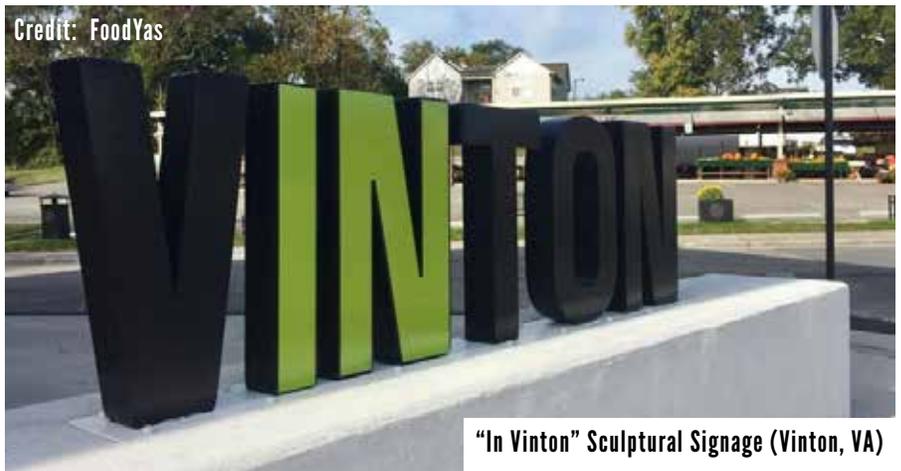
the following images, wayfinding is applied in many ways to achieve various goals. Introducing more wayfinding in Vinton does not always mean expensive and permanent signage. Many jurisdictions, both locally and internationally, have development wayfinding systems that are inexpensive and "DIY" in nature. When appropriate, wayfinding can simply be applied with paint onto paved areas, attached to light and utility poles, or even developed as temporary public art installations.

## EXAMPLES OF VINTON'S CURRENT BRAND

Credit: Town of Vinton



Town of Vinton Rebranding (Vinton, VA)



Credit: FoodYas

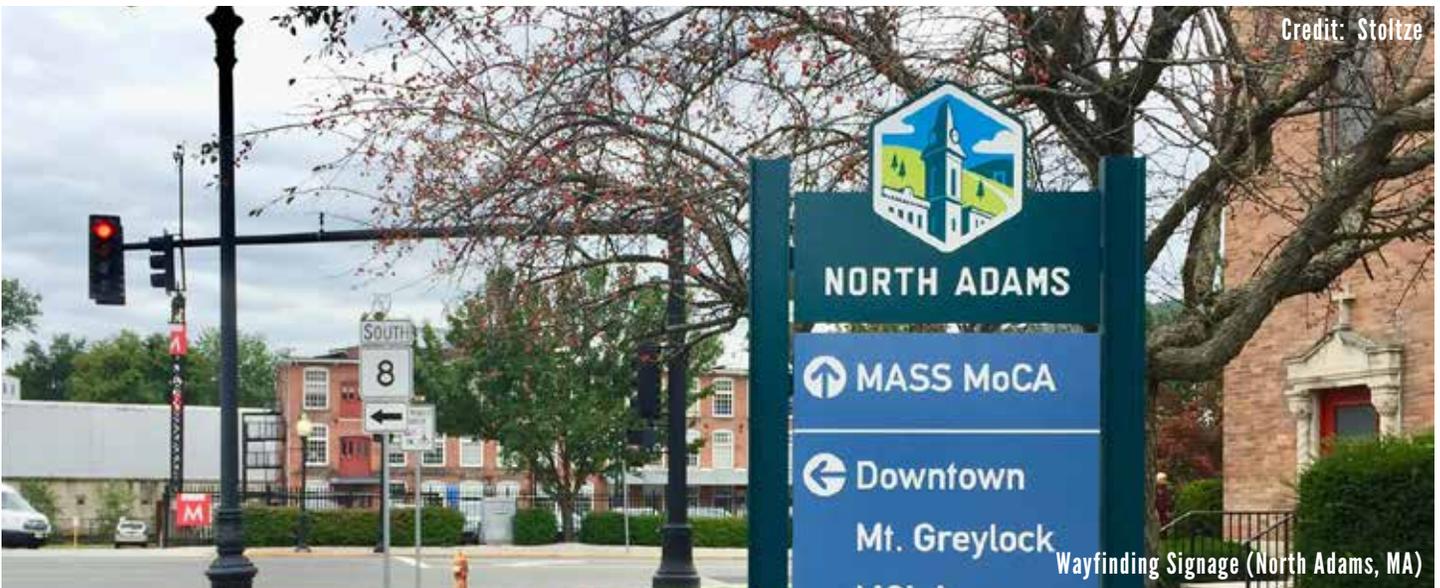
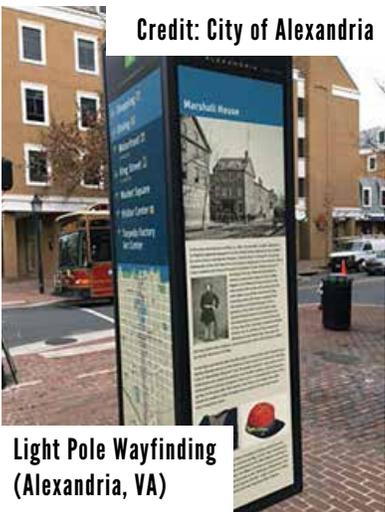
"In Vinton" Sculptural Signage (Vinton, VA)



Credit: Vinton Messenger

Town of Vinton Street Pole Banner (Vinton, VA)

## WAYFINDING EXAMPLE IMAGES



# DOWNTOWN ACTION PLAN



Credit: Vinton Messenger

Farm Burguesa Ribbon Cutting Ceremony

## INTRODUCTION

The Town of Vinton and its citizenry are passionate about maintaining a strong quality of life through its economic development and willingness to develop aspirational planning documents. The 2010 Downtown Revitalization Plan embodies this passion for quality places and amenities through the Plan's recommendations and proposed redevelopment projects.

The 2010 Plan and Vinton's other planning documents have not been ignored. The Town has actively pursued and accomplished many of its planning and economic development goals. Nevertheless, it is important to keep track of the Town's achievements and hold the Town responsible for the goals it sets. The Downtown Action Plan is designed to provide clear implementation projects for Downtown and measure project progress.

Based on the guidance and direction of the Downtown Vinton Public Realm Guidelines, the Downtown Action Plan establishes five priority projects that the Town is committed to achieving by 2025. These projects apply to the Downtown Public Realm Design Guidelines' focus area or Vinton's Urban Development Area 1 (UDA 1). This small plan lists anticipated timeframes, required funding, responsible agencies, and measures of success for each of the five action plan projects.

## PROJECTS ACHIEVED AND/OR UNDERWAY SINCE 2010

Following adoption of the 2010 Vinton Downtown Revitalization Plan, the Town has made progress to pursue and achieve some of the Plan's recommended projects. The following include some of the implemented 2010 Plan projects to date:

- DHCD Business Development Revitalization (BDR) Planning Grant  
**STATUS: Ongoing**
- Preliminary Architectural Report for Facade Improvements  
**STATUS: Complete**
- Market Analysis and Economic Restructuring Plan  
**STATUS: Complete**
- Physical Improvement Implementation Plan  
**STATUS: Complete**
- Former Vinton Motors Property Feasibility Study  
**STATUS: Complete**
- DHCD Community Development Block Grant  
**STATUS: Awarded**
- Creation of the Revolving Loan Program offered to new or expanding business in the Downtown Area.  
**STATUS: In operation**

## PROJECTS ACHIEVED AND/OR UNDERWAY SINCE 2010

- Removal of overhead power lines along S. Pollard Street between Washington Avenue to Cleveland Avenue; along Lee Avenue from the Farmers Market to Maple Street.  
**STATUS: Complete**
- Washington Avenue sewer line replacement  
**STATUS: Complete**
- Roanoke County Library – Vinton Branch Opened at the former Dunman’s property.  
**STATUS: Complete**
- Renovation of the Farmer’s Market Stage  
**STATUS: Complete**
- Installation of new decorative street lights along S. Pollard Street between Washington Avenue to Cleveland Avenue; along Lee Avenue from the Farmers Market to Maple Street.  
**STATUS: Complete**
- New wayfinding and gateway signage installation.  
**STATUS: Complete**
- Streetscape improvements and the installation of new furniture along S. Pollard Street between Washington Avenue to Cleveland Avenue; along Lee Avenue from the Farmers Market to Maple Street.  
**STATUS: Complete**
- InVinton Branding Program launch.  
**STATUS: Complete**
- New branding banners installed Downtown and major corridors (Washington Avenue, Virginia Avenue, and Hardy Road).  
**STATUS: Complete**
- Purchase of the Gish Mill property (former Holdren’s Country Store), 350 Gus Nicks Boulevard.  
**STATUS: Complete**
- Tinker Creek Canoe Launch Project – A part of Roanoke River Blueway System.  
**STATUS: Complete**
- Walnut Avenue Bridge Replacement Project at 5th Street.  
**STATUS: Complete**
- Jefferson Street water and sewer lines replacement  
**STATUS: Complete**
- Downtown Repaving Project  
**STATUS: Complete**
- VBAF ESA I and II for Gish Mill/Conceptual Plan for Gish Mill  
**STATUS: Complete**
- Glade Creek Greenway Phase 1 Completion: Virginia Avenue to Walnut Avenue  
**STATUS: Complete**
- Development of Roland E. Cook Lofts (21 market rate apartment units).  
**STATUS: Complete**
- Twin Creeks Brewing Company Opening in Downtown, 111 S. Pollard Street.  
**STATUS: Complete**
- Full funding of the Walnut Avenue Phase I corridor improvements and Tinker Creek Greenway Connection – 5th Street to Town West Limit.  
**STATUS: Ongoing**
- Funding of the Glade Creek Greenway Phase II – from Walnut Avenue to Gus Nicks Boulevard.  
**STATUS: Ongoing**
- Funding of the Walnut Avenue Phase III corridor improvements – Farmers Market to 1st Street.  
**STATUS: Ongoing**
- Off-Tract Betting (OTB) Property Purchase and Renovation, 1125 Vinyard Road  
**STATUS: Ongoing**
- Renovation of the Lancerlot Sports Complex to include ice-hockey and skating rink, 1110, 1120, and 1140 Vinyard Road.  
**STATUS: Complete**
- Creation of Two Urban Development Area (UDA) Grants: Development of eight UDA under the first grant; Downtown Design Guidelines, zoning and subdivision ordinances amendment frameworks.  
**STATUS: Complete**
- Creation of Downtown Facade Improvement Grant.  
**STATUS: Ongoing**

## PROJECTS ACHIEVED AND/OR UNDERWAY SINCE 2010

- Potential purchase of investment property for potential economic development.  
**STATUS: Ongoing**
- Establishment of Zagster BikeShare station at the Downtown Farmer's Market.  
**STATUS: Complete**
- Opening of FarmBurguesa, a farm-to-table restaurant in the Downtown Area; 303 S. Pollard Street.  
**STATUS: Complete**
- DHCD Housing Rehabilitation Study for Cleveland Neighborhood through Housing Planning Grant.  
**STATUS: Ongoing**
- Adoption of the 2018 Roanoke Valley Greenway Plan.  
**STATUS: Complete**
- Opening of the new Macado's Restaurant (former Vinton Library building), 800 Washington Avenue.  
**STATUS: Complete**
- Partnership Agreements for the Mixed Use Development of the former Vinton Motors Property.  
**STATUS: Complete**
- William Byrd Apartments, 100 Highland Road – The conversion of the former William Byrd High School buildings into 84 market rate apartment units.  
**STATUS: Completed by June 2019**



Credit: Town of Vinton

Twin Creeks Brewery

## PRIORITY 2025 ACTION PROJECTS

- **Project 1: Ensure that the majority of Downtown Vinton's priority streets have sidewalks and ADA compliant crosswalks and ramps.** *A Smart Scale application was submitted on August 8, 2018 for bicycle and pedestrian accommodations along the Walnut Avenue Corridor from Vinton's western border with Roanoke City to Lee Avenue in Downtown. In addition to the Walnut Avenue improvements, the Glade Creek Greenway's extended multi-purpose paved trail extension from Walnut Avenue to Gus Nicks Boulevard has been funded and is expected to be completed by Spring 2020.*  
**Anticipated timeframe:** Total completion by 2025
- **Project 2: Establish a seasonal parklet and pocket park program for selected blocks and vacant parcels along Pollard Street and Lee Avenue.**  
**Anticipated timeframe:** Program initiation by 2020
- **Project 3: Work with Downtown's property owners to develop a shared off-street parking plan in anticipation of future growth.** *The Town and downtown business owners currently have a shared off-shared parking agreement with the Vinton Baptist Church.*  
**Anticipated timeframe:** Consideration and evaluation of a future shared parking plan to begin in 2020
- **Project 4: Designate Downtown Vinton a Virginia Enterprise Zone (VEZ).** *The Virginia Enterprise Zone (VEZ) program, affiliated with the Virginia Department of Housing and Community Development (Virginia DHCD), is a partnership between state and local government that encourages job creation and private investment.*  
**Anticipated timeframe:** Application submission by 2019
- **Project 5: Designate Downtown Vinton as an historic district based on the 2010 Downtown Vinton Revitalization Plan's recommendations**  
**Anticipated timeframe:** District designation achieved by 2025
- **Project 6: Explore grant opportunities for a Washington Avenue streetscape reconstruction and prioritize pedestrian enhancements and crosswalks for the intersection of Washington Avenue and Pollard Street.** *The intersection of Washington Avenue and Pollard Street is a high priority presently due to the inherent nature of this road's high traffic volume, the lack of any existing pedestrian safety countermeasures, and the ongoing economic development planned to occur near this area. Our downtown area is expected to have an increasing amount of foot traffic over the next few years as new economic development projects are completed. By applying for both of VDOT's PSAP and HSIP grant opportunities, the Town will increase its chances of attaining funds to implement pedestrian safety countermeasures, including but limited to: pedestrian push buttons and signal heads, high visibility crosswalk markings, improved signage, lighting enhancements, and existing curb ramps and sidewalk improvements to meet ADA compliance. Both of these grant opportunities do not involve a local match to proceed. The PSAP grant program is expected to advertise projects in March 2019 that should be completed by December 2019. The HSIP grant is for FY 2020, with a time line for design and construction processes spanning between 3 to 5 years.*  
**Anticipated timeframe:** VDOT PSAP and HSIP grant applications were submitted on November 1st, 2018. Washington Avenue and Pollard Street intersection project completion by 2025

## OTHER FUTURE DOWNTOWN PROJECTS

### PROJECT 1: SOUTH POLLARD STREET ECONOMIC DEVELOPMENT SITE

The Town of Vinton has an option to purchase five contiguous parcels of property within the intersection of South Pollard Street, Cedar Avenue, and 1st Street for a future economic development project. The redevelopment of these parcels will also allow for the removal of blight in the Town, especially in close proximity to the Downtown Area.



## PROJECT 2: POTENTIAL OUTDOOR PATIO AREA

A potential outdoor patio area is being proposed on South Pollard Street that will feature outdoor furniture, planters, vegetation, and other amenities to be utilized by the public and customers of nearby food and beverage establishments.



## PROJECT 3: VINYARD STATION AT FORMER FORD MOTORS COMPANY BUILDING

The Vinton Motors building in the Downtown area is in the early stages of being redeveloped into a mixed-use project that will include a modern “tap-house” style restaurant, retail space, and upper floor residential units.



Map Legend	
1	Public Vehicular Access
2	Mixed Use Development
3	Pedestrian Access
4	Public Parking Area
5	Public Pocket Park

